

A B C D

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VICINITY MAP

SCALE: 1" = 1,000'

PROJECT TEAM:

CONTRACT PURCHASER / APPLICANT
CAPITAL CITY REAL ESTATE
3000 K STREET, NW SUITE 270
WASHINGTON, DC, 20007

OWNER
WILLOWWOOD OFFICE OWNER LLC
10300 EATON PLACE,
FAIRFAX, VA 22030

ATTORNEY
COZEN O'CONNOR
1200 19TH STREET NW, 3RD FLOOR
WASHINGTON, DC 20036

ARCHITECT
hickok cole
301 N STREET NW
WASHINGTON, DC 20002

ENGINEER & LANDSCAPE ARCHITECT
christopher consultants
4035 RIDGE TOP ROAD, SUITE 601
FAIRFAX, VA 22030

TRAFFIC ENGINEER
WELLS + ASSOCIATES
1420 SPRING HILL ROAD, SUITE 610
TYSONS, VA 22102

SUBMISSIONS

SUBMISSION 1: JULY 15, 2022



**christopher
consultants**

p 703.273.6820
4035 ridge top road
suite 601
fairfax, va 22030

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N29 RESIDENCES
GENERAL DEVELOPMENT PLAN
CITY OF FAIRFAX, VA

[illegible]

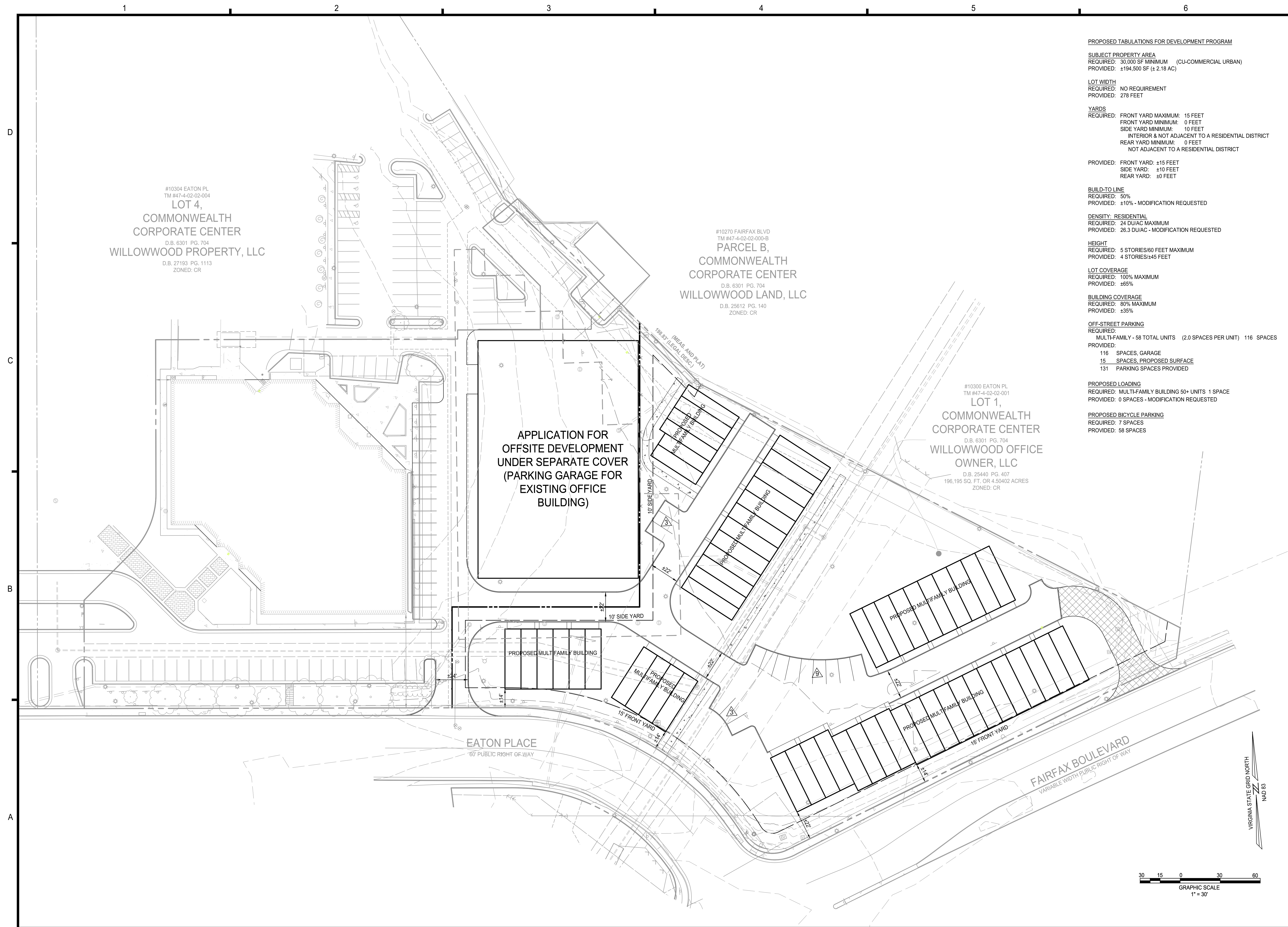
PROJECT No.: 21082.002.00
DRAWING No.: 111937
DATE: 2022-07-15
SCALE: N/A
DESIGN: LBD
DRAWN: ZY
CHECKED: LBD

SHEET TITLE:

COVER SHEET

SHEET No.

000



PROPOSED TABULATIONS FOR DEVELOPMENT PROGRAM

SUBJECT PROPERTY AREA
REQUIRED: 30,000 SF MINIMUM (CU-COMMERCIAL URBAN)
PROVIDED: ±194,500 SF (± 2.18 AC)

LOT WIDTH
REQUIRED: NO REQUIREMENT
PROVIDED: 278 FEET

YARDS REQUIRED: FRONT YARD MAXIMUM: 15 FEET
FRONT YARD MINIMUM: 0 FEET
SIDE YARD MINIMUM: 10 FEET
INTERIOR & NOT ADJACENT TO A RESIDENTIAL DISTRICT
REAR YARD MINIMUM: 0 FEET
NOT ADJACENT TO A RESIDENTIAL DISTRICT

PROVIDED: FRONT YARD: ±15 FEET
SIDE YARD: ±10 FEET
REAR YARD: ±0 FEET

BUILD-TO LINE
REQUIRED: 50%
PROVIDED: $\pm 10\%$ - MODIFICATION REQUESTED

DENSITY: RESIDENTIAL
REQUIRED: 24 DU/AC MAXIMUM
PROVIDED: 26.3 DU/AC - MODIFICATION REQUESTED

HEIGHT
REQUIRED: 5 STORIES/60 FEET MAXIMUM
PROVIDED: 4 STORIES/±45 FEET


LOT COVERAGE
REQUIRED: 100% MAXIMUM
PROVIDED: $\pm 65\%$

BUILDING COVERAGE
REQUIRED: 80% MAXIMUM
PROVIDED: ±35%

OFF-STREET PARKING
REQUIRED:
MULT-FAMILY - 58 TOTAL UNITS (2.0 SPACES PER UNIT) 116 SPACES
PROVIDED:
116 SPACES, GARAGE
15 SPACES, PROPOSED SURFACE
131 PARKING SPACES PROVIDED

PROPOSED LOADING
REQUIRED: MULTI-FAMILY BUILDING 50+ UNITS 1 SPACE
PROVIDED: 0 SPACES - MODIFICATION REQUESTED

PROPOSED BICYCLE PARKING
REQUIRED: 7 SPACES
PROVIDED: 58 SPACES



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N29 RESIDENCES GENERAL DEVELOPMENT PLAN

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PROJECT No.: 21082.002.00
DRAWING No.: 111937
DATE: 2022-07-15
SCALE: 1" = 30'
DESIGN: LBD
DRAWN: LBD, ZY
CHECKED: LBD

SHEET TITLE:

ENTITLEMENT
GDP

SHEET No.

PII_400

N29 RESIDENCES GENERAL DEVELOPMENT PLAN

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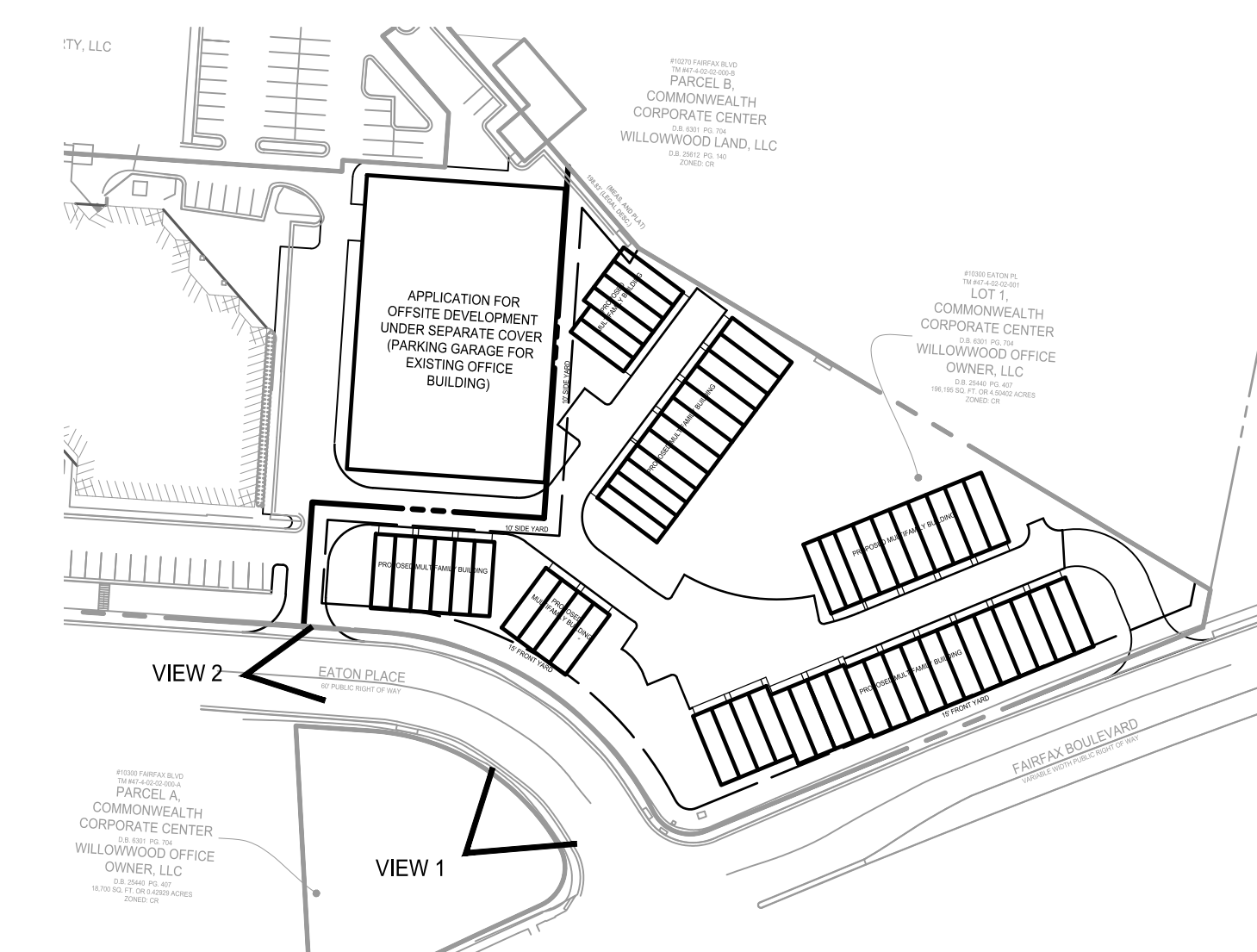
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DRAWING No.: 111937
DATE: 2022-07-15
SCALE: AS SHOWN
DESIGN: BY OTHERS
DRAWN: BY OTHERS
CHECKED: BY OTHERS

SHEET TITLE:

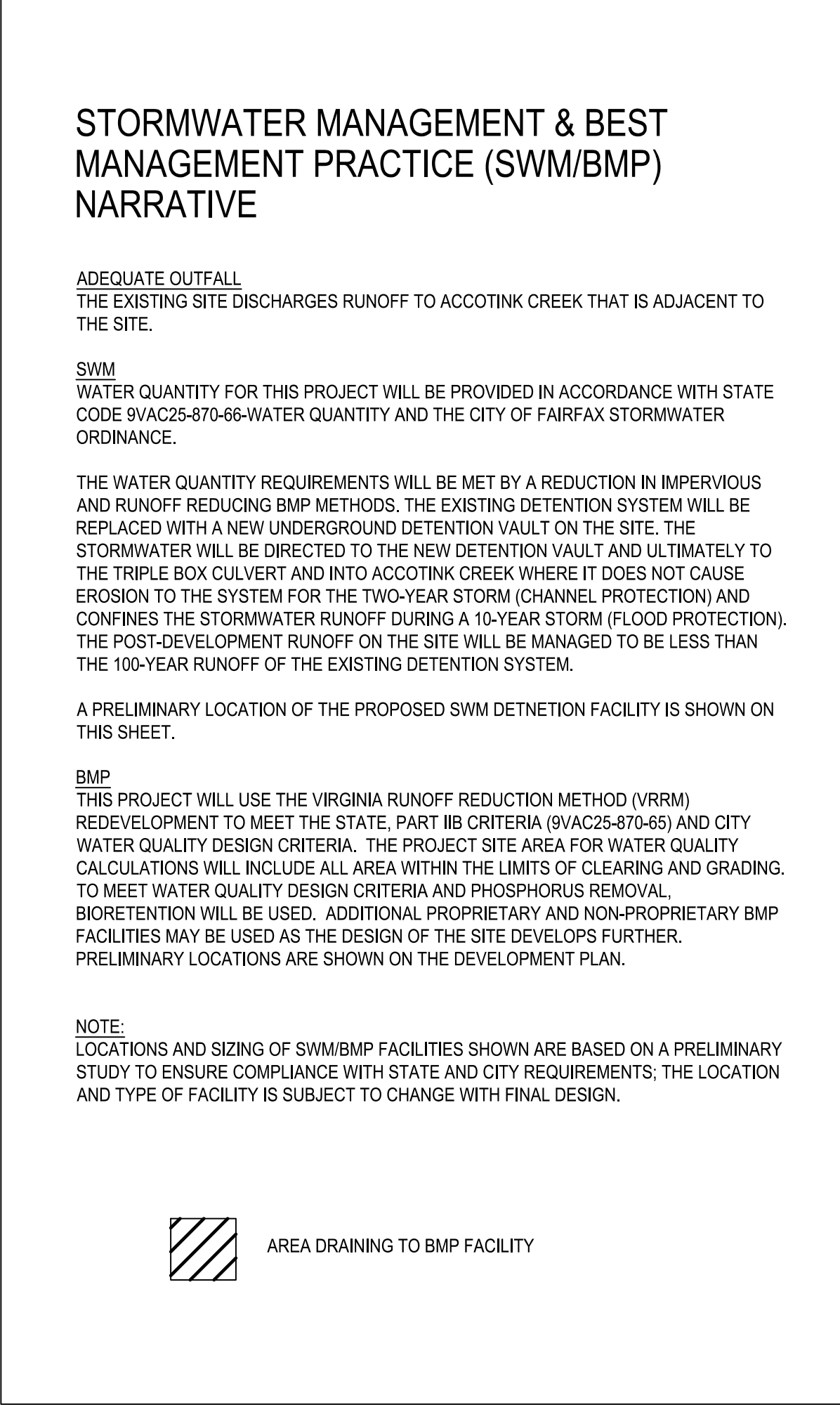
ILLUSTRATIVE
BUILDING
GRAPHICS

SHEET No.

PII_410



NOTE: THE GRAPHICS, SHOWN ON THIS SHEET, ARE CONCEPTUAL IN NATURE AND ILLUSTRATE THE GENERAL CHARACTER OF THE BUILDINGS AND PROJECT SITE. THESE DRAWINGS ARE NOT INTENDED TO REPRESENT FINAL BUILDING DESIGN OR TO BE INTERPRETED AS A COMMITMENT TO FINAL DESIGN OF THE PROJECT. FINAL DESIGN WILL BE DETERMINED AT THE TIME OF FINAL SITE PLAN SUBMISSION.



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Stormwater Best Management Practices (RR = Runoff Reduction)

Site Treatment Volume (ft³)

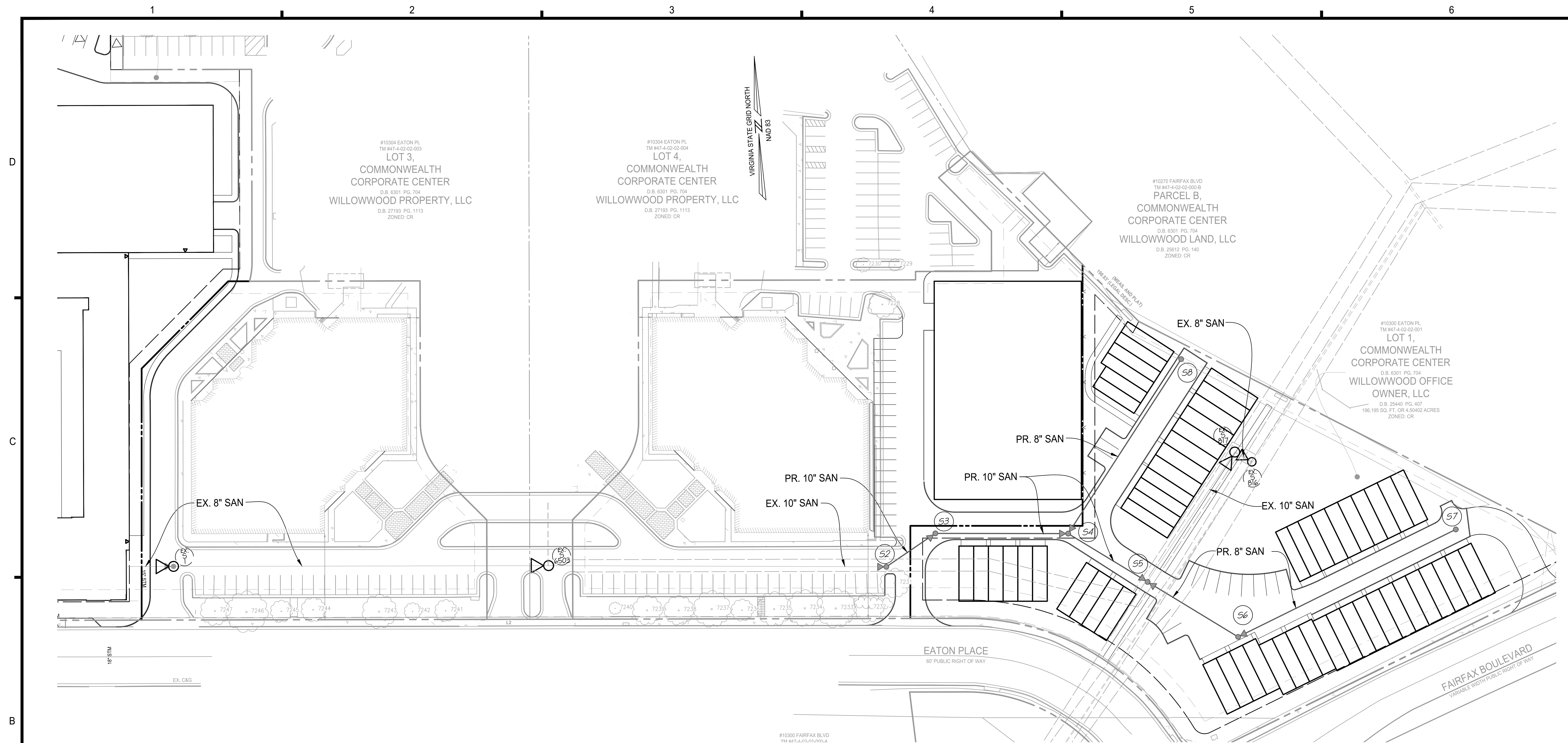
N29 RESIDENCES GENERAL DEVELOPMENT PLAN

PROJECT No.: 21082.002.00
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DESIGN: JH
DRAWN: YH
CHECKED: JH

SHEET TITLE

BMP CALCULATIONS

SHEET No. **PII_501**



SANITARY COMPUTATION:

| FROM | TO | UPPER INV | LOWER INV | L (FT) | SLOPE (%) | DIA (IN) | MATERIAL | N | CAPACITY (cfs) | CAPACITY (MGD) | DESIGN FLOW (cfs) | DESIGN FLOW (MGD) | V _{FULL} (ft/s) | V (ft/s) | Q/Q _{FULL} | V/V _{FULL} | Assumptions | Flow Inc. (MGD) | Peak Flow Factor | Design Flow Inc. (MGD) |
|--|---------|-----------|-----------|--------|-----------|----------|----------|-------|----------------|----------------|-------------------|-------------------|--------------------------|----------|---------------------|---------------------|--|-----------------|------------------|------------------------|
| Ex. 6503 | S2 | 326.81 | 325.53 | 275.45 | 0.46 | 10 | PVC | 0.013 | 1.49 | 0.96 | 0.921 | 0.595 | 2.7 | 2.86 | 0.617 | 1.05 | Estimated flows Phase 1 Development and existing office buildings. | 0.149 | 4.0 | 0.595 |
| S2 | S3 | 325.43 | 325.22 | 48.38 | 0.43 | 10 | PVC | 0.013 | 1.44 | 0.93 | 0.921 | 0.595 | 2.6 | 2.80 | 0.638 | 1.06 | | | | |
| S3 | S4 | 325.17 | 324.70 | 109.13 | 0.43 | 10 | PVC | 0.013 | 1.44 | 0.93 | 0.921 | 0.595 | 2.6 | 2.79 | 0.641 | 1.06 | | | | |
| S4 | S5 | 324.65 | 324.32 | 74.89 | 0.44 | 10 | PVC | 0.013 | 1.45 | 0.94 | 0.921 | 0.595 | 2.7 | 2.79 | 0.633 | 1.05 | | | | |
| S5 | Ex. 817 | 324.22 | 323.64 | 127.56 | 0.45 | 10 | PVC | 0.013 | 1.48 | 0.95 | 1.010 | 0.653 | 2.7 | 2.90 | 0.684 | 1.07 | Estimated flow from proposed townhomes. | 0.0145 | 4.0 | 0.058 |
| Ex. 817 | Ex. 816 | 323.60 | 323.38 | 16.04 | 1.37 | 8 | PVC | 0.013 | 1.41 | 0.91 | 1.010 | 0.653 | 4.1 | 4.39 | 0.714 | 1.08 | | | | |
| Notes: | | | | | | | | | | | | | | | | | | | | |
| 1. See contributing sewage flow estimates below. | | | | | | | | | | | | | | | | | | | | |
| 2. Peaking factor of 4.0 used. | | | | | | | | | | | | | | | | | | | | |
| 3. Existing office building areas obtained from City of Fairfax Real Estate Assessment Database. | | | | | | | | | | | | | | | | | | | | |

| | | | | |
|---|--|--|--|--|
| Notes: | | | | |
| 1. See contributing sewage flow estimates below. | | | | |
| 2. Peaking factor of 4.0 used. | | | | |
| 3. Existing office building areas obtained from City of Fairfax Real Estate Assessment Database | | | | |

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| Contributing Sewage Flow Estimate (Existing) | | | | | |
|---|---------|------------------------------|------------------------------|---------------|-------------|
| Discharge Facility (Ex. Office Buildings) | \$F | Estimated Flow (gpd/1000 SF) | Total Incremental Flow (gpd) | Sanitary From | Sanitary To |
| 10300 Eaton PI | 138,860 | 200 | 27,772 | Ex. 6503 | \$S |
| 10302 Eaton PI | 142,648 | 200 | 28,530 | Ex. 6503 | \$S |
| 10304 Eaton PI | 135,942 | 200 | 27,188 | Ex. 6503 | \$S |
| 10306 Eaton PI | 138,860 | 200 | 27,772 | Ex. 6503 | \$S |
| Phase 1 Development See sheet PI_600 for estimated flow computations | | | 37,500 | Ex. 6503 | \$S |
| Estimated Cumulative Existing Flow | | | 148,762 | Ex. 6503 | \$S |

SANITARY SEWER ANALYSIS

THE PURPOSE OF THIS ANALYSIS IS TO DEMONSTRATE THE CAPACITY AND HYDRAULIC ADEQUACY OF THE DOWN STREAM SANITARY SEWER MAIN.

EXISTING CONDITIONS:
CURRENTLY, THE EXISTING SITE CONSISTS OF AN EXISTING ASPHALT PARKING LOT WITH 10" SANITARY MAIN RUNNING THROUGH THE SITE.

THE UPSTREAM FOR THIS SEWER-SHED IS SHOWN ON THIS SHEET, EAST OF THE SITE, DESIGNATED AS ESTIMATED FLOW.

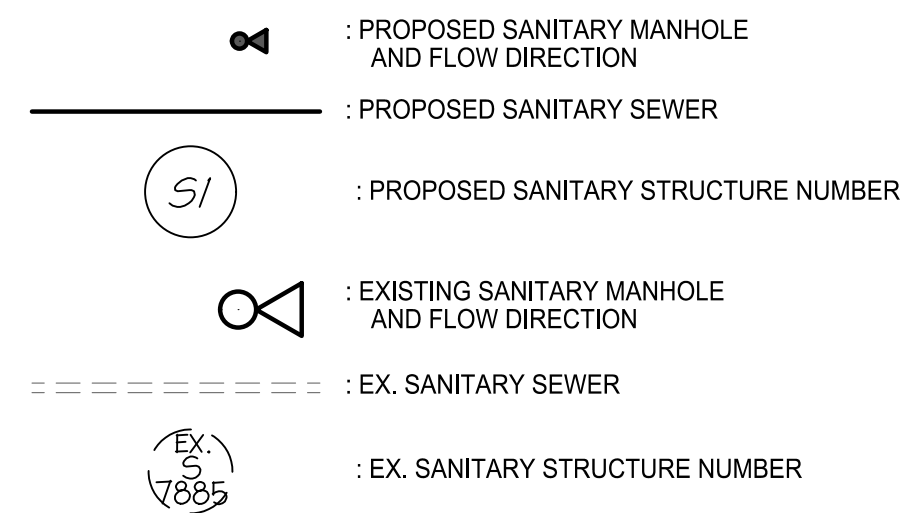
PROPOSED CONDITIONS:
EXISTING 10" SANITARY SEWER WILL BE REMOVED AND RELOCATED FOR THE CONSTRUCTION OF PROPOSED TOWNHOMES. PROPOSED 10" SANITARY SEWER NETWORK WILL CONNECT TO THE EXISTING 10" SANITARY WHICH CONNECTS TO EXISTING MANHOLE S817.

CAPACITY AND HYDRAULIC ANALYSIS:
THE SANITARY SEWER WAS ANALYZED FROM THE EX. 8-INCH SEWER TO FROM THE PHASE I DEVELOPMENT TO EXISTING MANHOLE S816.

THE VOLUME OF FLOW USED IN THIS ANALYSIS HAS BEEN COMPUTED IN ACCORDANCE WITH STATE CODE 9VAC25-790-460 AND 9VAC25-790-310. SEE COMPUTATIONS ON THIS SHEET.

CONCLUSION:
IT IS OUR CONCLUSION THAT THE EXISTING DOWNSTREAM 8-INCH SEWERS NOTED IN THE SANITARY COMPUTATION CHART NEEDS TO BE UPGRADED TO 10-INCH PIPES TO MEET CAPACITY AND HYDRAULIC ADEQUACY OF THE ADDED REDEVELOPMENT FLOWS.

LEGEND

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N29 RESIDENCES
GENERAL DEVELOPMENT PLAN

CITY OF FAIRFAX, VA

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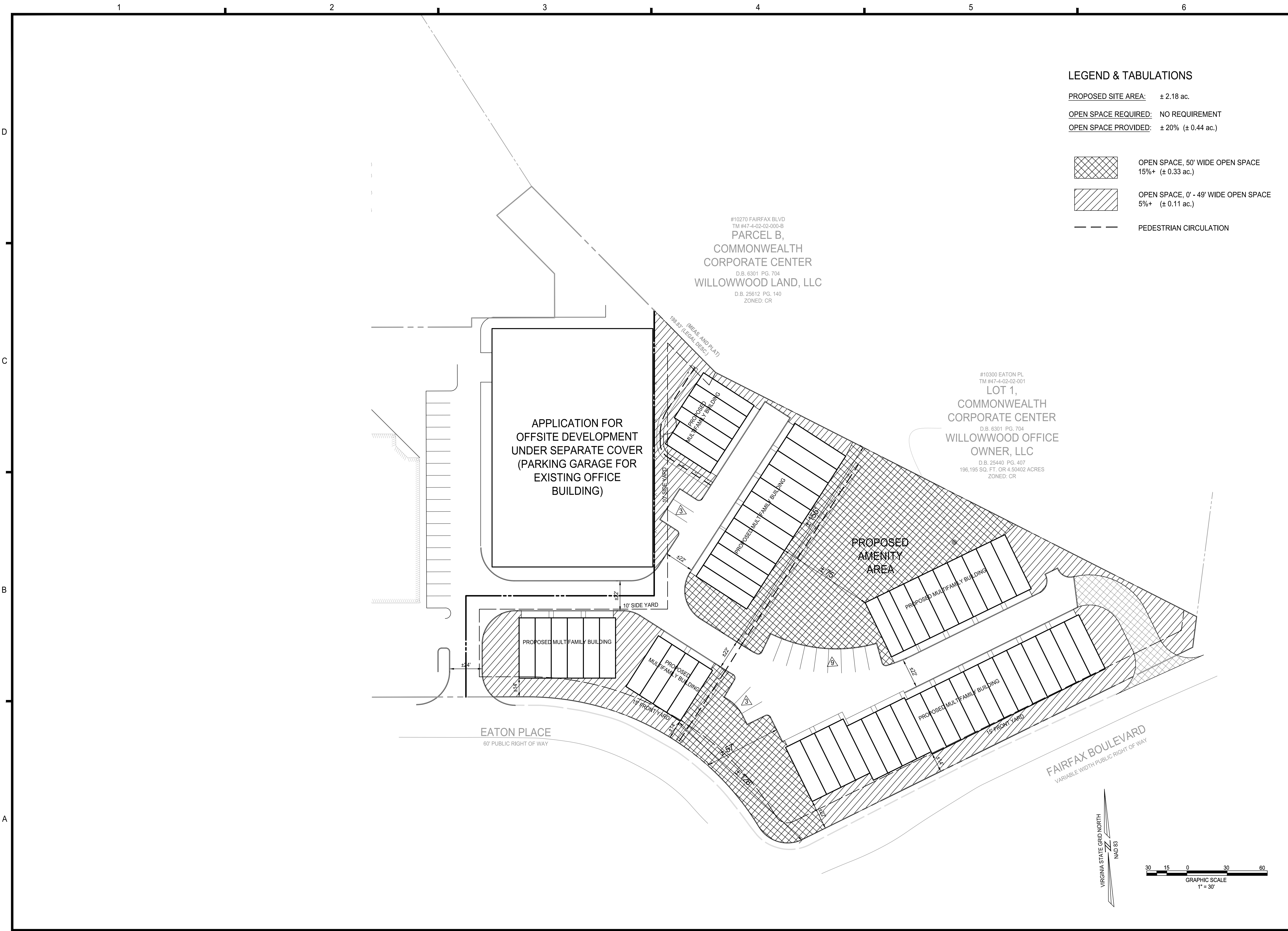
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SHEET TITLE:

FIRE SERVICE PLAN

SHEET No.

PII_800

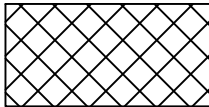


LEGEND & TABULATIONS

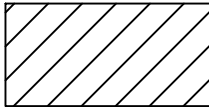
PROPOSED SITE AREA: ± 2.18 ac.

OPEN SPACE REQUIRED: NO REQUIREMENT

OPEN SPACE PROVIDED: ± 20% (± 0.44 ac.)



OPEN SPACE, 50' WIDE OPEN SPACE
15%+ (± 0.33 ac.)



OPEN SPACE, 0' - 49' WIDE OPEN SPACE
5%+ (± 0.11 ac.)



PEDESTRIAN CIRCULATION

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N29 RESIDENCES
GENERAL DEVELOPMENT PLAN

CITY OF FAIRFAX, VA

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
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SHEET TITLE:

OPEN SPACE
PLAN

SHEET No.
PII_900

