



Board of Architectural Review

DATE: September 5, 2018
TO: Board of Architectural Review Chair and Members
THROUGH: Brooke Hardin, Director of Community Development & Planning *BH*
FROM: Tommy Scibilia, BAR Liaison *TS*
SUBJECT: **West Drive Duplex**

ATTACHMENTS: 1. Relevant regulations
2. Photos
3. Landscape plan
4. Elevations
5. Renderings
6. Materials, colors, and manufactured item specifications

Nature of Request

1. Case Number:	BAR-18-00469
2. Address:	10642 West Drive
3. Request:	New duplex and site improvements
4. Applicant:	BC&J Development LLC
5. Applicant's Representative:	John A. Clark
6. Status of Representative:	Agent
7. Zoning:	RH Residential High

STAFF COMMENTS

Background:

The site is a 0.56-acre undeveloped parcel of land with frontage along West Drive, which contains a handful of single family residences, multifamily buildings, the Chancery Square townhouses, and Fairfax Professional Village office condominiums. Surrounding the property on the north, east, and west are the duplex residential properties of the Ardmore neighborhood, whose rear and side yards abut the subject site. To the south across West Drive is a Fairfax County property yard. See Attachment 2 for photographs of the site.

Proposal:

The applicant is proposing to develop the site with a duplex dwelling and four single-family homes, to be related in materials, color, and design. A rezoning and several special exceptions are requested, which must be considered by City Council. A Major Certificate of Appropriateness is required for the duplex and for the associated site improvements, but not for the single-family homes. The BAR should not be commenting on the single-family homes, but their proposed design is included in the submittals and attachments to this report to help inform context.

The site would consist of a one-way, private road with one entrance and one exit on West Drive, composed of pervious concrete pavers in a reddish color by Bay Eagle, as well as a scored concrete sidewalk along West Drive. The duplex would be situated closest to West Drive with small landscaped front yards, and the four single-family homes would be located along the outside of the private drive. A small private pocket park would be located inside the private drive to the rear of the duplex dwellings, which would have entrances directly onto this space. The pocket park would be programmed with a concrete paver semicircular patio space with seating. This space would not be visible from the right-of-way, and is therefore not within BAR purview.

Landscaping includes canopy trees along West Drive (willow oaks), and smaller understory canopy trees inside a fence along the west, east, and southeast property lines (intermixed eastern redbud, kousa dogwood, and star magnolia). The fence would be a decorative, white, board-on-board fence made of Azek, a composite material, as detailed in the landscape exhibit (Attachment 3). Inkberry holly shrubs are proposed along the front and back walls of the duplexes. Other landscaping includes royal ferns, shore junipers, and red heuchera at the pocket park. A decorative wall composed of a red brick base and piers by Cushwa and cast iron decorative picket fencing is proposed along the West Drive sidewalk with breaks for the loop road and gates for front yard access to the duplex units. The same type of wall is proposed around the perimeter of the pocket park patio.

The duplex would be three stories above grade with a compound hipped roof, roughly symmetrical in form, with classical design elements. The building form would be a U shape, with a recessed covered porch area between the units facing out toward West Drive and driveway access to two-car garages off of the private drive on the east and west side elevations. The main entrances would be located off of the first floor covered porches on the east and west elevations. The east unit would have access to the central porch and second floor balcony, while the west unit would have access to a second floor balcony above the western porch and main entrance to the home. Four Juliet balconies with shallow standing seam metal roof projections are proposed on the second level of the rear façade, overlooking the pocket park.

The body of the duplex would be Hardie fiber-cement siding in “Autumn Tan” with a woodgrain finish and beaded profile. The foundation of the building would be red brick by Cushwa. The roof material would be asphalt shingles in “Black Pearl”, a dark gray, by Grand Manor. Regularly-spaced windows would be present on all four sides of the building, and are proposed to be double-hung sash windows by Marvin, with mullions in the upper sash, and in a “Classical White” finish. Smaller windows in a matching finish are proposed on the third floor in some areas of the rear and side elevations. Shutters, proposed on the front and rear façades, would be made of cedar wood with decorative panels and painted “Roycroft Copper Red” by Sherwin Williams. These would be mounted on hinges with decorative shutter dogs painted black. In some instances, the elevations include false windows that would be made to appear as closed shutters in the same design and color. There are two types of doors proposed. Six-panel woodgrain doors by Therma Tru painted “Roycroft Copper Red” to match the shutters would be used for the side and rear entrances. 15-lite swinging French doors by Marvin, to be painted “Classical White” by Sherwin Williams, an off-white, would be used for the porches and balconies. Window and door casings would be aluminum-clad and painted “Classical White”. Trim elements would be made of Azek also painted “Classical White”, and include window headers and sills, decorative soffit trim and brackets, and porch columns. The railings for the porch areas and Juliet balconies would be Azek, with “Extra White” balustrades and “Iron Ore” (black) upper and lower rails. Garage doors by Pella on the east and west (side) elevations would be wood-faced “Carriage House” style folding doors, painted “Classical White” with decorative panels, eight windows across the top, and wrought iron decorative hardware. Red brick chimneys to match the foundation and decorative wall material are proposed on the east and west elevations beside the entrance porches.

A retaining wall to be constructed of CMU block and varying in height from inches to eight feet would run around the perimeter of the site, the shorter end portions of which would be visible from the right-of-way on West Drive.

Lighting fixtures would be traditional, copper, lantern-style fixtures to be building-mounted beside the front and rear entrances of the duplex, as well as mounted at the top of the brick piers of the decorative wall along West Drive on either side of the private road entrance and exit.

The HVAC units are proposed on the outside corners of the duplex units, and would be screened from view with an approximately three-foot decorative fence, made with Azek composite product and in “Classical White”, and surrounded by shrubs. The trash and recycling bins would be located within the garages.

The single-family homes are not within the BAR’s purview, however their design is important to consider within the context of the duplex units. The single-family homes would have the same materials and design features as those proposed for the duplex, including siding, window and door types, trim, detailing, and colors within a related palette. The roof form incorporates gables into the design, which is not a feature of the duplex building. See Attachment 4 for elevations of the single-family homes.

Analysis:

City of Fairfax Design Guidelines:

The following excerpts from the Design Guidelines are relevant to this application.

New Construction, ACOD-3

Building Orientation, ACOD-3.3

Buildings should be sited so that their main entrances are facing the street on which they are located.

The duplex entrances are oriented toward the private loop road, but gates in the decorative brick wall give access to the front yards of both units and the main entrances would both be readily visible from view on West Drive. No sidewalk is proposed from the West Drive sidewalk to the east unit stoop. Staff recommends this be added to increase openness and pedestrian orientation, see discussion below in the Building Types: Additional Considerations section.

Building Form & Articulation, ACOD-3.4

Use forms in new construction that relate to those of existing neighboring buildings on the street that are of quality design. 3.4

Consider creating a three part building design with a differentiated base, upper story, and roof or cornice line.

The dominant development type on West Drive and in the neighboring Ardmore neighborhood is residential. The proposed building form is appropriate for new residential development and compatible with the surrounding development.

Roof Form & Materials, ACOD-3.6

Buildings that adjoin neighborhoods should use roof forms that relate to the nearby residential forms instead of the flat or sloping commercial form.

On roofs that are visible, use quality materials such as standing seam metal, architectural shingles, slate, or artificial slate.

If using composition asphalt shingles, consider using architectural type shingles.

The proposed hipped roof form and architectural asphalt shingles are appropriate for new residential development and compatible with the surrounding development. The proposed

standing seam metal overhangs above the second floor rear windows are consistent with these guidelines as well.

Opening Types & Patterns, ACOD-3.7

The size and proportion, or the ratio of width to height, of windows of new buildings' primary facades may be vertical, horizontal or square. Their arrangement may be laid out in a pattern or in a more random fashion depending on the building's use and its overall design.

Door selection should be integrated into the overall design vocabulary of the building and should be part of an entry element that is articulated and a visible part of the façade.

The proposed window pattern is regular and vertical in orientation. The selection of doors and associated trim detailing is appropriate and compatible with the overall building design. See comments below on entry porches in the Building Types: Additional Considerations section.

Building Foundations, ACOD-3.9

Consider distinguishing the foundation from the rest of the structure by using different materials, patterns, or textures.

Brick or stone veneer may be used over a block or concrete foundation if the applied veneer appears as a masonry foundation. Do not leave foundations of plain concrete block or poured concrete exposed when visible from public places.

The proposed brick foundation is consistent with these guidelines. See discussion on expansion of this element in the Materials & Textures section immediately below.

Materials & Textures, ACOD-3.9

The selection of materials and textures for a new building in the ACOD may include brick, stone, cast stone, wood or cementitious siding, metal, glass panels, or other materials as deemed appropriate by Staff and the BAR. In general, the use of stucco-like products such as EIFS should be limited and is most appropriate on higher elevations, not in the pedestrian realm.

Use quality materials consistently on all publicly visible sides of buildings in the district. These materials should be long lasting, durable, maintainable, and appropriate for environmental conditions.

The proposed materials are consistent with these guidelines. The use of brick in the chimneys helps carry the foundation and wall material vertically in the building design, however staff believes that use of brick up to the lower window line with a belt course, instead of only as a foundation-level material, would create a more attractive and permanent appearance. See the staff-edited rendering in Attachment 5 for the recommended condition.

Architectural Details & Decorative Features, ACOD-3.9

Simple details such as brick patterns, varied materials, cornices, roof overhangs, window and door surrounds, belt or string-courses, and water tables can all add visual interest and human scale elements to new construction.

The proposed architectural detailing, including the roof brackets and shutter and garage door hardware, is consistent with this guideline.

Building-Mounted Lighting, ACOD-3.12

Lighting for new structures should be designed to be an integral part of the overall design by relating to the style, material, and/or color of the building.

Fixtures should utilize an incandescent, LED, fluorescent, metal halide, or color corrected high-pressure sodium lighting sources. Avoid overly bright or colored lights.

Fixtures should be the full cutoff variety to limit the impact of lighting on neighboring properties.

A combination of free-standing and wall-mounted fixtures is recommended to yield varied levels of lighting and to meet the intent of the zoning regulations.

The proposed lantern-style sconces are traditional in design and appropriate for new residential development. The wall lights are in a similar style. No freestanding fixtures are proposed.

Appurtenances, ACOD-3.13

Mechanical equipment on roofs or sides of buildings should not be visible from streets. It should be screened from public view on all sides if otherwise visible. The screening should be consistent with the design, textures, materials, and colors of the building. Another method is to place the equipment in a nonvisible location behind a parapet.

When the mechanical equipment, vents, meters, satellite dishes and similar equipment is ground mounted, screening should include either an opaque fence or wall made of the same material as the building or an evergreen hedge that screens objectionable views.

The proposed HVAC units would be sufficiently screened by shrubs as well as the Azek screening fences, which are compatible in material and design to the proposed perimeter fence, as well as the trim detailing and porch columns of the building.

Building Types: Additional Considerations, ACOD-3.15

Many townhouses have some type of entry porch or portico with much variety in the size, location, and form of these features. Since this element is such a prominent part of the residential areas, consider including it in residential design.

Staff believes the west unit's covered porch and the east unit's covered stoop create attractive and residentially appropriate entrances to these dwellings. Staff believes that the east unit should have a concrete walkway to its stoop to match the west unit's walkway and to further enhance the pedestrian feel of the development.

Painting, Color & Finishes, ACOD-4

Guidelines, ACOD-4.2

Select a coordinated palette of colors for each property that includes site elements in addition to the building itself.

Set the color theme by choosing the color for the material with the most visible area, such as a brick wall area or a metal roof, and relate other colors to it.

Select natural tones instead of overly bright and obtrusive colors.

Treat similar elements with the same color to achieve a unified rather than overly busy and disjointed appearance.

For most buildings, the numbers of paint colors are typically limited to three: a wall or field color, a trim color, and an accent color for signs, doors, etc.

The proposed building color is natural and the accent colors of "Roycroft Copper Red" and "Classical White" are appropriate.

Private Site Design & Elements, ACOD-6

Paving, AOD-6.2

Use materials that are stable, attractive, and reflect the adjacent building vocabulary and streetscape materials. Poured concrete is usually appropriate for sidewalks in the ACOD, though the use of brick, stone, or stamped concrete should be considered in areas of pedestrian interest as appropriate within the context of the site.

The proposed scored concrete for the West Drive sidewalk is consistent with the existing sidewalk network across the street and consistent with residential sidewalks in the ACOD. The concrete pavers proposed for the private drive and the pocket park area are also appropriate.

Landscaping, ACOD-6.3

Use plant materials that are appropriate and hardy to this region and to harsh urban conditions. Select materials with concern for their longevity and ease of maintenance. From these selections, create a distinctive and visually attractive outdoor space.

Use landscape edges such as a row of street trees. Where trees cannot be installed due to utility or other restrictions, use a shrub layer or herbaceous planting to create a unifying edge or seam between adjacent developments and their face on the public right-of-way.

Enhance the site's appearance by incorporating a layered landscape with a variety of plant materials. Consider color, texture, height, and mass of plant selections in a planting composition.

The proposed trees create an appropriate landscaped frontage along West Drive, while the foundation plantings will create aesthetically pleasing front yards for these units. Staff believes a layered landscape design should be incorporated into the side yards design, with shrubs and groundcover planted at the bases of the trees to fill out these landscaped areas and give them a more natural appearance.

Fences & Walls, ACOD-6.4

Use brick or other natural stone materials for walls. When a wall is an integral part of, or an extension of a building, select wall materials that complement the building's materials.

Avoid the use of modern, mass-produced fence materials such as diamond lattice panels, or synthetic materials such as plastic or fiberglass timbers. Stained wood board-on-board is usually appropriate.

If a fence or wall spans an area longer than 1/3 of the property line, modulate and articulate the wall with techniques to provide visual interest from the public right-of-way. Examples to break up a long expanse include inserting vertical piers of a different material, height, or width in an intentional rhythm or by adding a vegetative layer(s).

The proposed wall along West Drive is consistent with these guidelines, as it has a tasteful and traditional design and is well-articulated. Staff finds the design of the perimeter fence to be attractive, and the Azek composite material to be appropriate.

Lighting, ACOD-6.5

Select light posts and fixtures that are sympathetic to the design and materials of the building and its neighbors.

As a way to enhance design coherency on a private site in the ACOD, ensure that new exterior lighting elements—posts, fixtures, landscape, and other accent lights share at least one common element—color, material, form, or style, creating a coherent suite or assemblage of exterior lighting elements.

Lighting should illuminate parking lots and pathways to provide safe vehicular and pedestrian circulation and to minimize pedestrian / vehicular conflicts.

See discussion above in the Building-Mounted Lighting section. The site is relatively small and staff believes that the building- and wall-mounted fixtures will be sufficient to illuminate the site without the use of freestanding fixtures.

Gathering Spaces, ACOD-6.8

Incorporate a variety of small public spaces, ranging in size from 100 to 2,000 square feet, to provide opportunities for informal interactions and public outdoor access.

Orient buildings to form gathering spaces rather than isolating them in forgotten, unattractive portions of the site.

The proposal contains a gathering space that meets this criteria, but it is not visible from view in the public right-of-way, and is therefore not within the BAR's purview.

Comprehensive Plan:

The following excerpts from the 2012 Comprehensive Plan are relevant to this application.

Community Appearance strategy CA-1.4: Reduce the visual dominance of the automobile by emphasizing pedestrian accessibility and significant landscaping.

The proposal, with its landscaped street edge and low decorative wall with gates, would create an activated and attractive pedestrian realm, which could be further enhanced by a sidewalk to the east unit's stoop (see discussion in the Building Types: Additional Considerations section above) and a layered landscape approach to the side yards (see discussion in the Landscaping section above).

Community Appearance objective CA-3: Encourage exemplary site and building design, construction, and maintenance (105).

Staff finds this proposal to be of high quality with close attention paid to classical architectural details.

RECOMMENDATIONS

Staff finds the proposal to be generally in conformance with the provisions of the City of Fairfax Design Guidelines and the Comprehensive Plan, and therefore recommends that the BAR recommend to City Council approval of the Major Certificate of Appropriateness with the following conditions:

1. Red brick by Cushwa to match the chimneys and decorative wall shall be used up to the lower window line of the first story with a belt course at the top, on all sides of the duplex building visible from the right-of-way.
2. The retaining wall shall be constructed of a split face block with a cap, in a color that matches the Cushwa red brick to be used on the duplex and decorative wall as closely as possible.
3. Shrubs and ground cover shall be incorporated into the landscaping of the east and west buffer yards at the bases of the proposed trees.
4. A gate and sidewalk shall be included to provide direct access to the east duplex unit stoop from West Drive.
5. Any exterior vents, roof pipes, and other similar building-mounted appurtenances shall be painted to match the surface or architectural feature to which they are attached.
6. The proposed construction, materials, and landscaping shall be in general conformance with the review materials received by staff and modified through the date of this meeting, except as further modified by the Board of Architectural Review, the Director of Community Development and Planning, the Building Official, or Zoning.

RELEVANT REGULATIONS

- Attachment 1-

§3.7.4. Architectural control overlay district

B. Certificate of appropriateness required

Except as specified in §3.7.4.C, below, all development in the architectural control overlay district shall be subject to the approval of a certificate of appropriateness in accordance with the provisions of §6.5.

C. Exceptions

The architectural control overlay district shall not apply to signs, unless otherwise specified, or to the following uses:

1. Single-family detached;
2. Duplex dwellings, after initial approval and construction; and
3. Townhouses, after initial approval and construction.

§5.4.5. Powers and duties

B. Final decisions

The board of architectural review shall be responsible for final decisions regarding the following:

1. Certificates of appropriateness, major (§6.5)

§6.5.1. Applicability

Certificates of appropriateness shall be reviewed in accordance with the provisions of §6.5.

A. A certificate of appropriateness shall be required:

1. To any material change in the appearance of a building, structure, or site visible from public places (rights-of-way, plazas, squares, parks, government sites, and similar) and located in a historic overlay district (§3.7.2), the Old Town Fairfax Transition Overlay District (§3.7.3), or in the Architectural Control Overlay District (§3.7.4). For purposes of §6.5, “material change in appearance” shall include construction; reconstruction; exterior alteration, including changing the color of a structure or substantial portion thereof; demolition or relocation that affects the appearance of a building, structure or site;

§6.5.3. Certificate of appropriateness types

A. Major certificates of appropriateness

1. Approval authority

(a) General

Except as specified in §6.5.3.B.2(b), below, the board of architectural review shall have authority to approve major certificates of appropriateness.

(b) Alternative (in conjunction with other reviews)

Alternatively, and in conjunction with special use reviews, planned development reviews, special exceptions or map amendments (rezoning), the city council may approve major certificates of appropriateness.

§6.5.6. Action by decision-making body

A. General (involving other review by city council)

After receiving the director's report on proposed certificates of appropriateness, which do not involve other reviews described below, the board of architectural review (BAR) shall review the proposed certificates of appropriateness in accordance with the approval criteria of §6.5.7. The BAR may request modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the BAR may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

B. Other reviews

1. Prior to taking action on special use reviews, planned development reviews, and map amendments (rezoning), the city council shall refer proposed certificates of appropriateness to the BAR for review in accordance with the approval criteria of §6.5.7.
2. In conjunction with special use reviews, planned development reviews, special exceptions and map amendments (rezoning), the city council may review the proposed certificate of appropriateness in accordance with the approval criteria of §6.5.7. The city council may request modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the city council may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

§6.5.7. Approval criteria

A. General

1. Certificate of appropriateness applications shall be reviewed for consistency with the applicable provisions of this chapter, any adopted design guidelines, and the community appearance plan.
2. Approved certificates of appropriateness shall exhibit a combination of architectural elements including design, line, mass, dimension, color, material, texture, lighting, landscaping, roof line and height conform to accepted architectural principles and exhibit external characteristics of demonstrated architectural and aesthetic durability.

§6.5.9. Action following approval

- A. Approval of any certificate of appropriateness shall be evidenced by issuance of a certificate of appropriateness, including any conditions, signed by the director or the chairman of the board of architectural review. The director shall keep a record of decisions rendered.
- B. The applicant shall be issued the original of the certificate, and a copy shall be maintained on file in the director's office.

§6.5.10. Period of validity

A certificate of appropriateness shall become null and void if no significant improvement or alteration is made in accordance with the approved application within 18 months from the date of approval. On written request from an applicant, the director may grant a single extension for a period of up to six months if, based upon submissions from the applicant, the director finds that conditions on the site and in the area of the proposed project are essentially the same as when approval originally was granted.

§6.5.11. Time lapse between similar applications

A. The director will not accept, hear or consider substantially the same application for a proposed certificate of appropriateness within a period of 12 months from the date a similar application was denied, except as provided in §6.5.11.B, below.

B. Upon disapproval of an application, the director and/or board of architectural review may make recommendations pertaining to design, texture, material, color, line, mass, dimensions or lighting. The director and/or board of architectural review may again consider a disapproved application if within 90 days of the decision to disapprove the applicant has amended his application in substantial accordance with such recommendations.

§6.5.12. Transfer of certificates of appropriateness

Approved certificates of appropriateness, and any attached conditions, run with the land and are not affected by changes in tenancy or ownership.

§6.5.13. Appeals

A. Appeals to city council

Final decisions on certificates of appropriateness made may be appealed to city council within 30 days of the decision in accordance with §6.22.

B. Appeals to court

Final decisions of the city council on certificates of appropriateness may be appealed within 30 days of the decision in accordance with §6.23.

Attachment 2

Photos – 10642 West Drive



Looking east

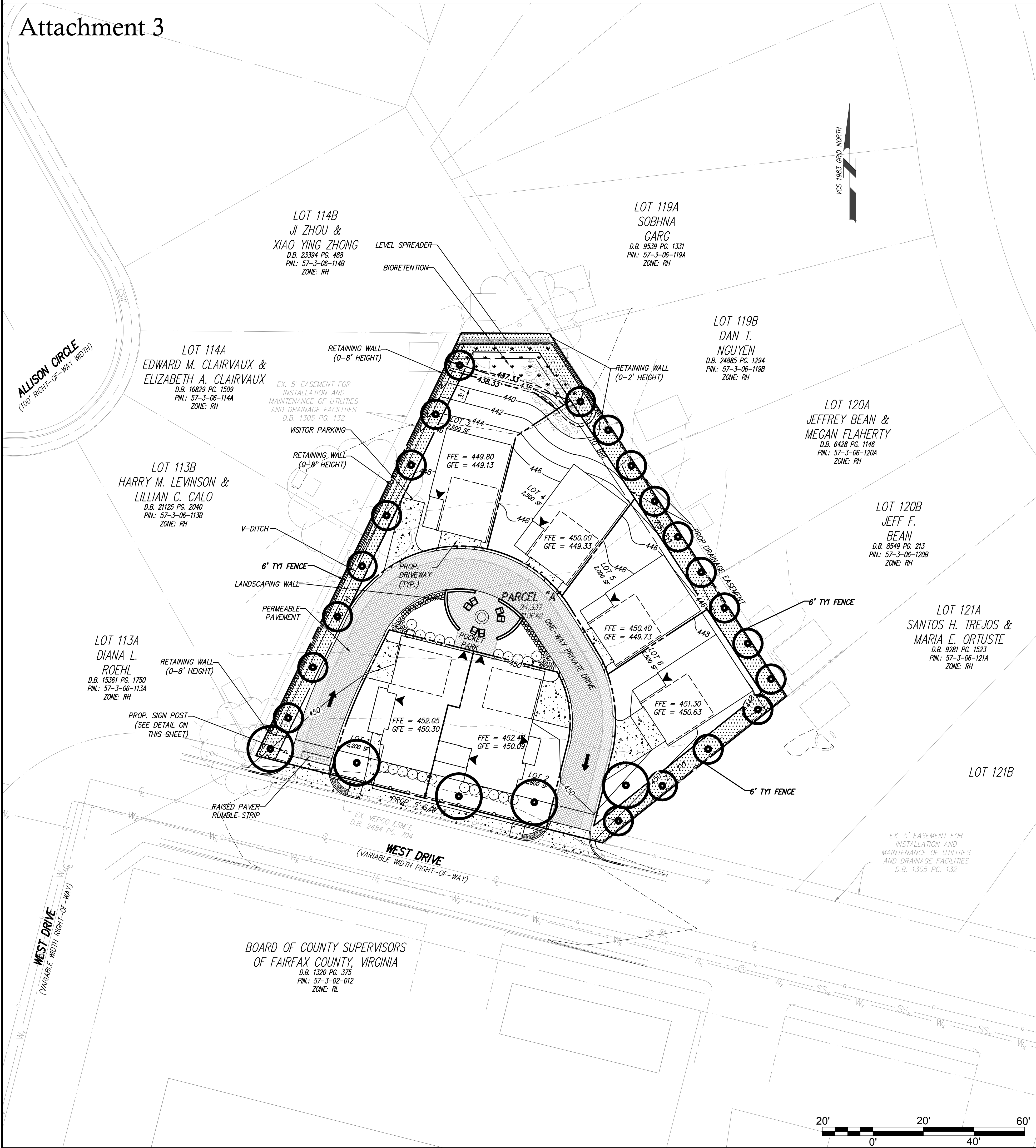


Looking north at center of site



Looking north at west end of site

Attachment 3



10- YEAR TREE CANOPY REQUIREMENT:

ZONING: RT
GROSS SITE AREA: 24,337 SF (0.55 AC)

TREE CANOPY REQUIREMENT: 15% * 24,337 = 3,651 SF
EXISTING TREES TO BE PRESERVED: 0 SF
TREE PLANTING CANOPY COVER PROVIDED: 3,875 SF

STREET TREES:

LANDSCAPED STRIP REQUIRED WIDTH: 10 FT.
REQUIRED RATE: 1 CANOPY / 40 LF (MAX. 50 FT APART)
STREET TREES REQUIRED: 141 LF / 40 = 3.5 TREES
STREET TREES PROVIDED: 4 CANOPY TREES

TRANSITIONAL YARD					
LOCATION	LENGTH	TYPE	TREES REQUIRED	TREES PROVIDED	BARRIER PROVIDED
WESTERN	186 LF	TY1	8 UNDERSTORY	8 UNDERSTORY	6 FT. FENCE
NORTHERN/ NORTHEASTERN	207 LF	TY1	9 UNDERSTORY	9 UNDERSTORY	6 FT. FENCE
SOUTHEASTERN	93 LF	TY1	4 UNDERSTORY	4 UNDERSTORY	6 FT. FENCE
UNDERSTORY TREES TO BE EASTERN REDBUD, KOUSA DOGWOOD, STAR MAGNOLIA, OR APPROVED EQUAL AT TIME OF SITE PLAN.				21 UNDERSTORY	



NOTE: FINAL LANDSCAPING SELECTION TO BE DETERMINED AT TIME OF SITE PLAN.
TYPICAL TRANSITIONAL YARD TY1



NOTE: FINAL FENCE SELECTION TO BE DETERMINED AT TIME OF SITE PLAN.
TRANSITIONAL YARD TY1 FENCE REPRESENTATION

PLANT SUMMARY				
PLANT TYPE	SIZE	QUANTITY	10 YEAR CANOPY	TOTAL
CANOPY TREE (WILLOW OAK, OR APPROVED EQUAL)	3.5" CAL.	5	250 SF	1,250 SF
UNDERSTORY TREE (EASTERN REDBUD, KOUSA DOGWOOD, STAR MAGNOLIA, OR APPROVED EQUAL)	3.5" CAL.	21	125 SF	2,625 SF
FOUNDATION PLANTING (INKBERRY HOLLY, ROYAL FERN, OR APPROVED EQUAL))	3 GAL.	28	N/A	N/A
GROUNDCOVER (SHORE JUNIPER, RED HEUCHERA, OR APPROVED EQUAL)	1 GAL.	95	N/A	N/A
NOTE: FINAL PLANT SELECTION AND LOCATION TO BE DETERMINED AT TIME OF SITE PLAN.				3,875 SF

LEGEND

FOUNDATION PLANTINGS

GROUND COVER

UNDERSTORY TREE

CANOPY TREE

PERMEABLE PAVEMENT

BIORETENTION

TY1

STANTEC
4500 DAILY DRIVE, SUITE 100
CHANTILLY, VA 20151
Tel: 703.263.1220
Fax: 703.263.1221
www.stantec.com

Date:

Revision:

LANDSCAPE PLAN

WEST DRIVE RESIDENTIAL SITE PLAN

CITY OF FAIRFAX, VIRGINIA

Date: SEPT 2018

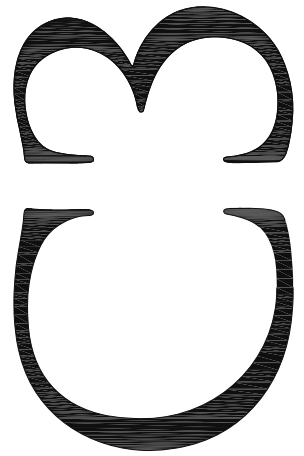
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Check: CH Drawn: IAI/SNH

Project No.: 2026271804

Cad File: C-LANDSCAPE.DWG

Sheet No. 1 of 1



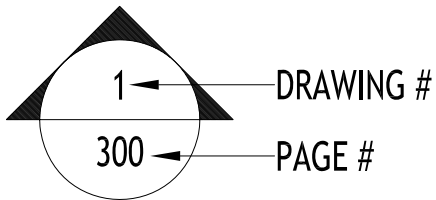
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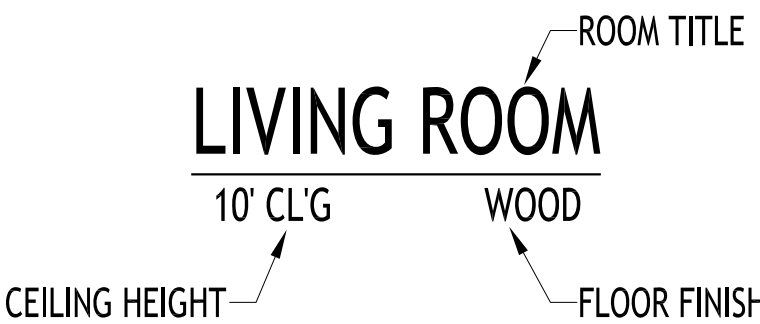
WINDOW / DOOR SIZING

2856 = 2'-8" WIDE x 5'-6" TALL OPENING SIZE
SEE ELEVATIONS FOR HEAD HEIGHT, HANDING
AND GRILL PATTERN

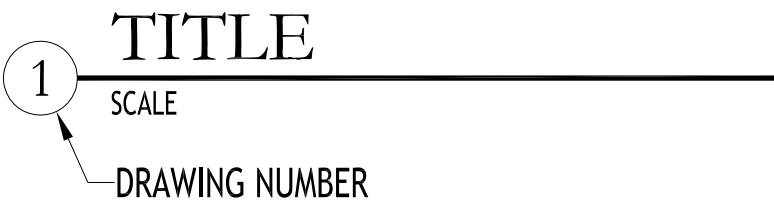
ELEVATION / SECTION BUBBLE



ROOM NAMES



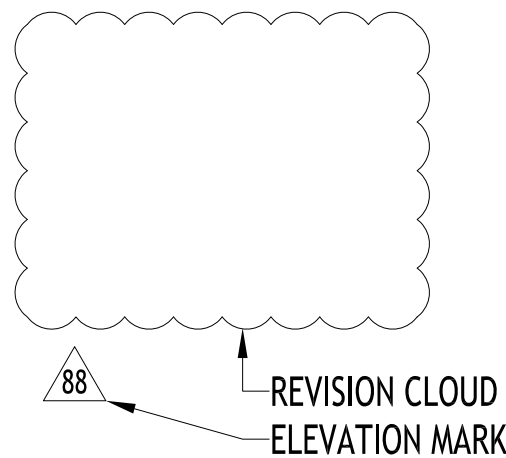
DRAWING TITLE



ELEVATION MARKERS



REVISION NOTES

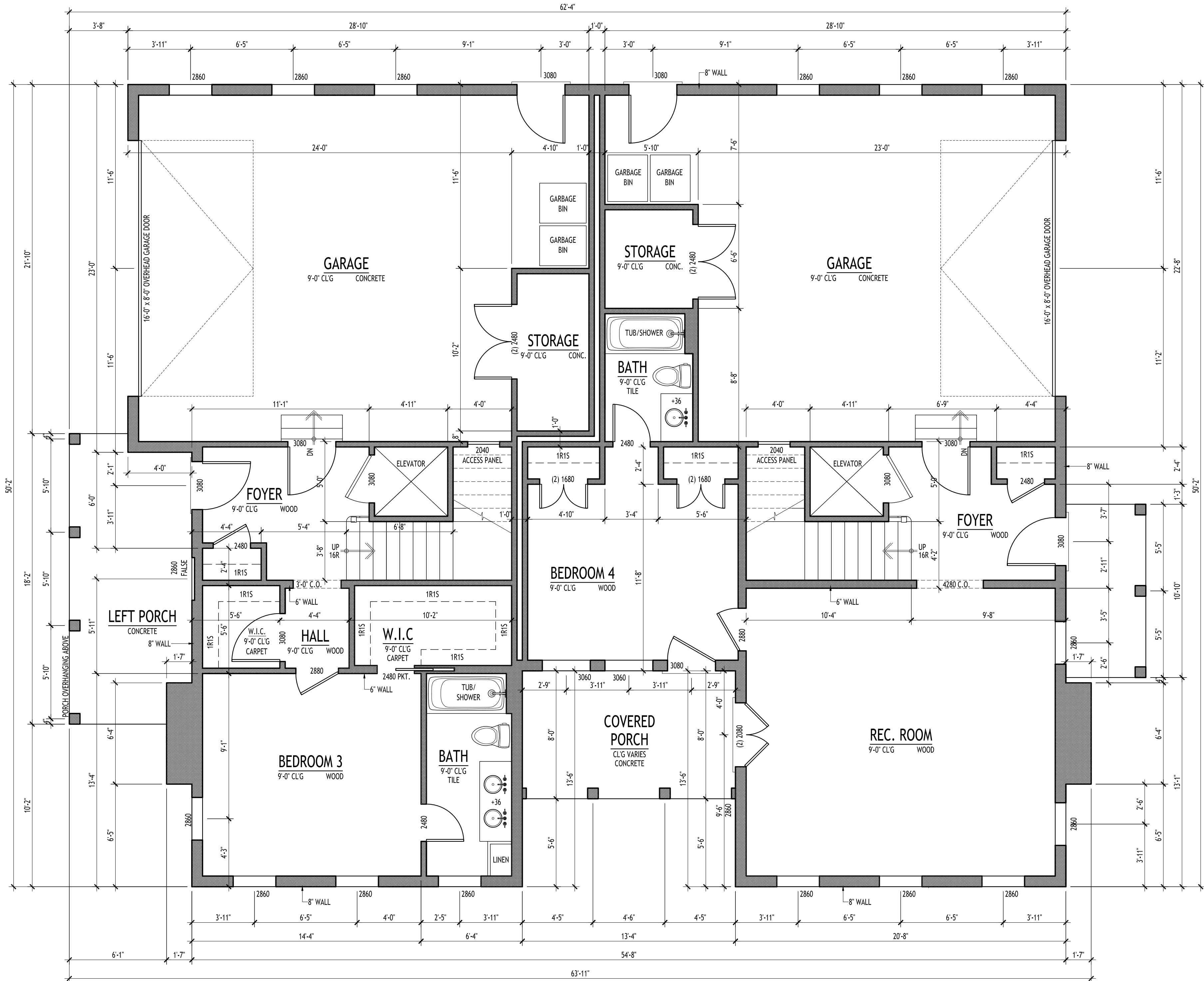


WEST DRIVE TOWNHOUSE

FAIRFAX, VA

DRAWING INDEX

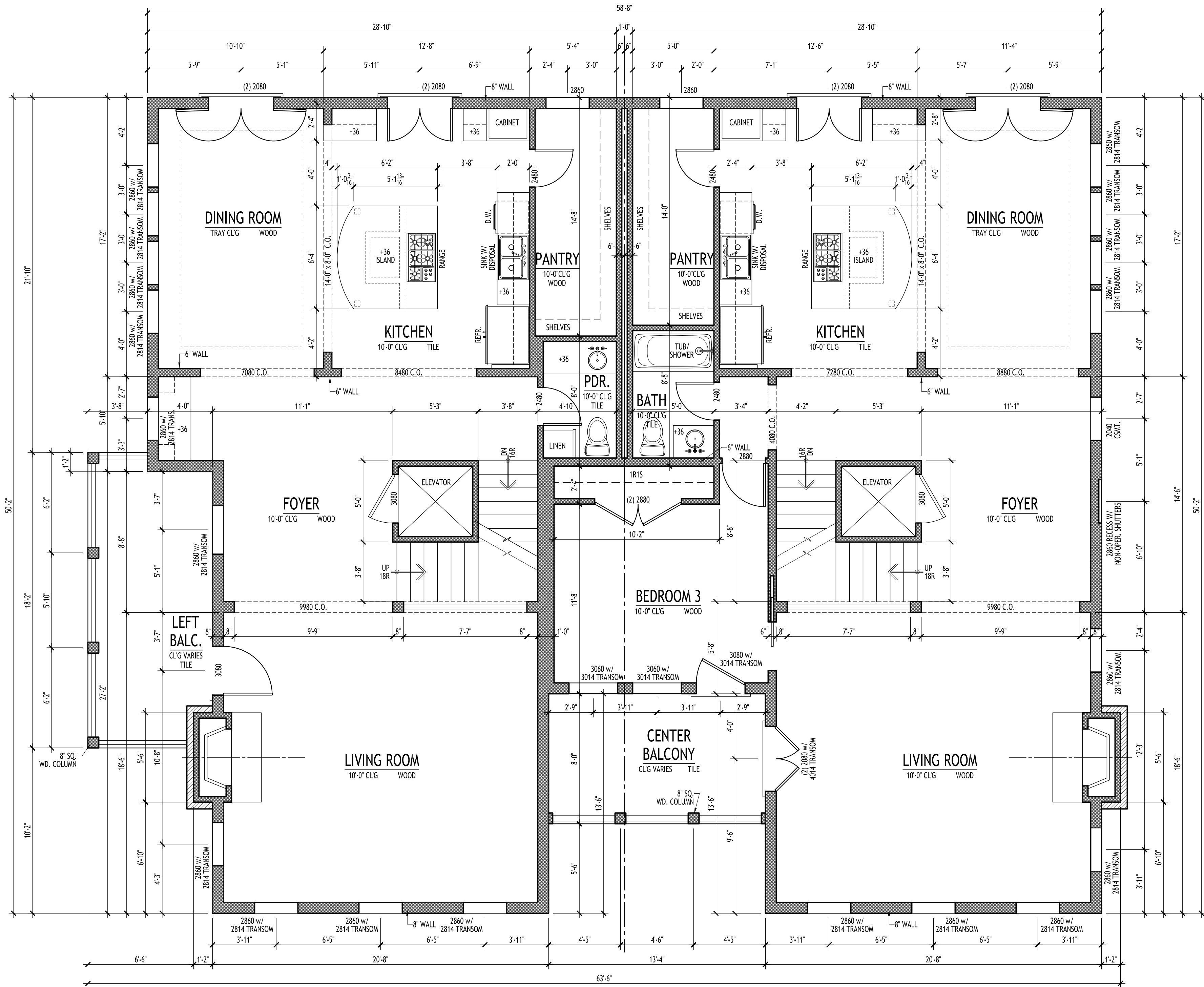
- 000 TITLE SHEET / DRAWING INDEX / KEY
- 100 FOUNDATION PLAN / ROOF PLAN
- 201 FIRST FLOOR PLAN
- 202 SECOND FLOOR PLAN
- 203 THIRD FLOOR PLAN
- 300 ELEVATIONS
- 301 ELEVATIONS
- E201 FIRST FLOOR ELECTRICAL PLAN
- E202 SECOND FLOOR ELECTRICAL PLAN
- E203 THIRD FLOOR ELECTRICAL PLAN



FIRST FLOOR PLAN
1/4" = 1'-0"

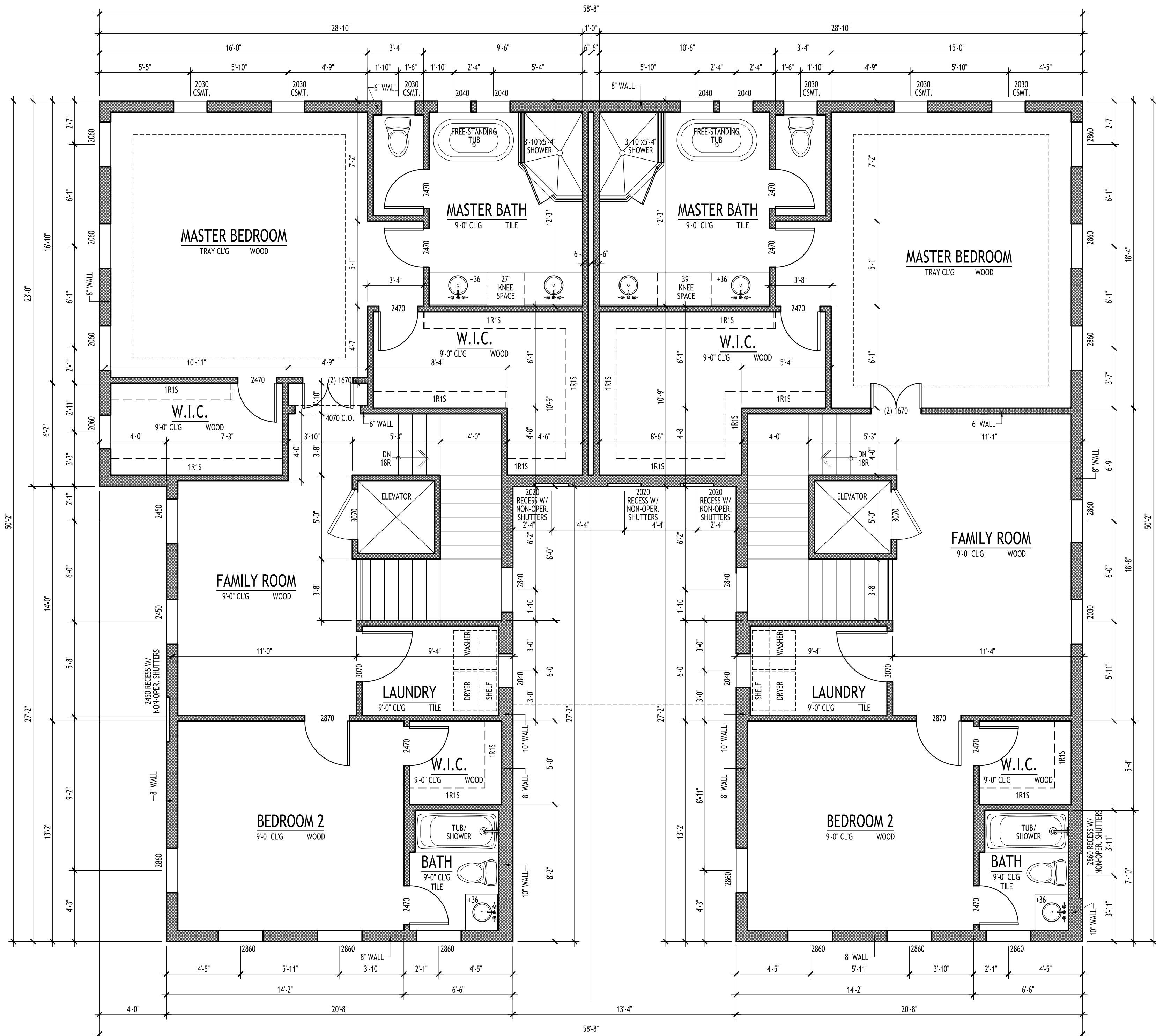
- NOTES:
1. CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER THAT BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
 2. WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
 3. ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.

REVISIONS	
Review Set August 23, 2018	
DATE	
XXX	
PROJECT	
1801008	
DRAWN AMR BEB BR	CHECKED AMR



SECOND FLOOR PLAN
1/4" = 1'-0"

- NOTES:
1. CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
 2. WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
 3. ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.



THIRD FLOOR PLAN

1/4" = 1'-0"

- NOTES:
1. CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
 2. WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
 3. ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.



2 LEFT ELEVATION

1/4" = 1'-0"



1 FRONT ELEVATION

1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"

NOTES:
-This streetscape elevation, material and color selection shows the intent, character, and quality of the proposed development. Architectural plans, elevations, and illustrations may be adjusted or modified subsequent to BAR approval as a result of final architectural and engineering design, provided they remain in conformance with that is shown in this package, and shall be approved at the discretion of the Planning Director. Final manufacturer and material selection may deviate, provided they remain in conformance with the intent and character shown in this package

-Azek capped polymer decking materials in Coastline
-Wapolo Jamestown Porch Railing, Extra White Pickets on porches with Iron Ore railing

-CertainTeed Grand Manor asphalt shingles in Black Pearl
-Snow guards in Slate Gray
-5" Gutters in Classical White

-JamesHardie Beaded Cedarmill lap siding in Autumn Tan
-Marvin Insert Double Hung windows in Classical White
-Marvin Flat Casing in Classical White
-Timberland Western Red Cedar operable shutters in Roycroft Copper Red



-Walpole Traditional Board Fence in white for TY1 along perimeter
-TY1 understory trees: Eastern Redbud, Koua Dogwood, Star Magnolia (as shown on landscaping plan)
-Canopy trees: Willow Oak (as shown on landscaping plan)

-ThermaTru Classic-Craft Maerican Style Collection 6 Panel Shaker front door in Roycroft Copper Red
-Marvin Swinging French Door in Classical White
-Carriage Style insulated garage door in Classical White
-Walpole Savannah Side Mount Lantern for front doors and garage
-Cashwa Brick Chimney

-Cushwa Brick Facade Wall and Columns in Traditional Red
-Cushwa Brick in Traditional Red along building foundation
-Montage Plus Metal fence in Black
-Precast architectural concrete topper for columns, or Walpole Savannah Lantern (to match building mounted lighting)

WEST DRIVE - STREETScape

Staff-edited rendering and recommended condition with brick up to the lower window level and a belt course



GRAND MANOR[®]

Luxury
Roofing Shingles



Grand Manor, shown in Brownstone

CertainTeed
SAINT-GOBAIN



Elegance Defined with Style and Grace

GRAND MANOR®

- Authentic depth and dimension of natural slate
- Ten dynamic color options
- Super Shingle® construction offers five layers of protection
- Streakfighter® protection against algae

GRAND MANOR® COLOR PALETTE



Black Pearl



Brownstone



Colonial Slate



Gatehouse Slate



Georgian Brick



Sherwood Forest



Stonegate Gray



Terra Cotta



Tudor Brown



Weathered Wood



JamesHardie

Siding | Trim



Achieve authentic character and
UNCOMPROMISING PERFORMANCE.



NORTHEAST
Product
Catalog

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
5/4 x 3.5 in.
Arctic White

HardiePlank®
6.25 in. Smooth
Arctic White

A classic look for
THE HOME OF THEIR DREAMS.



SELECT CEDARMILL®

Khaki Brown

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



SMOOTH

Countrylane Red

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



BEADED CEDARMILL®*

Light Mist

Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			



BEADED SMOOTH*

Heathered Moss











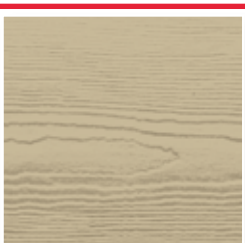


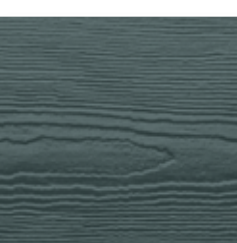
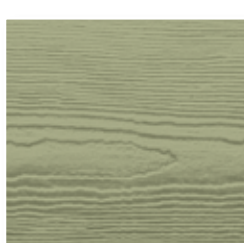

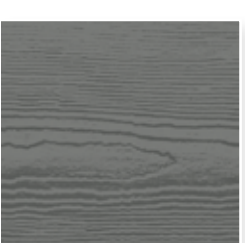
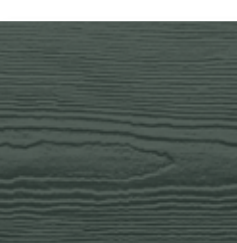
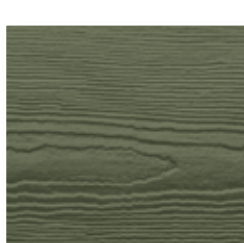




Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			

*Beaded Cedarmill® and Beaded Smooth are available exclusively with ColorPlus Technology in Pittsburgh, Philadelphia and New England districts.

Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardiepros.com

Express the true nature of a home's character with ColorPlus® Technology

PLANK, PANEL, BATTEN AND SHINGLE COLORS

				
ARCTIC WHITE	NAVAJO BEIGE	COBBLE STONE	PEARL GRAY	LIGHT MIST
				
SAIL CLOTH	SANDSTONE BEIGE	MONTEREY TAUPE	GRAY SLATE	BOOTHBAY BLUE
				
WOODLAND CREAM	AUTUMN TAN	WOODSTOCK BROWN	AGED PEWTER	EVENING BLUE
				
HEATHERED MOSS	KHAKI BROWN	TIMBER BARK	NIGHT GRAY	IRON GRAY
				
MOUNTAIN SAGE	CHESTNUT BROWN	COUNTRYLANE RED	RICH ESPRESSO	DEEP OCEAN

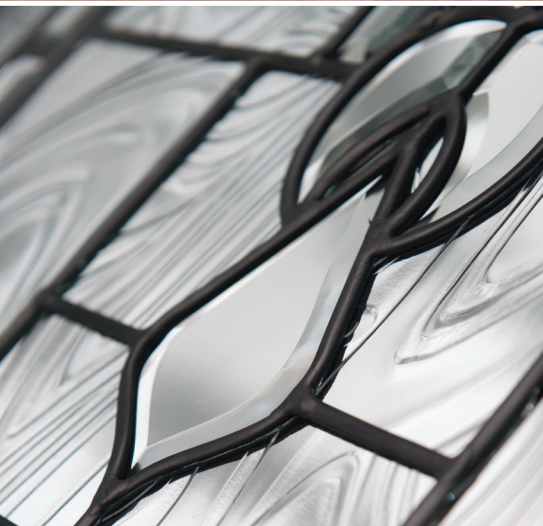
Classic-Craft® Premium Entryways

THERMA **TRU**®
DOORS



•

Extraordinary in every detail.



Authentic in every way.
Beautiful beyond compare.

Here's a premium entryway that can truly express your personal style. With our Classic-Craft® collections, you can customize your entryway with a choice of four wood grains or a smooth surface that you can easily stain or paint for virtually unlimited color options both inside and out. And every door offers architecturally correct proportions and intricate decorative glass options, with each detail evoking a sense of handcrafted elegance.

Compare for yourself.



Premium – right down to the edge.

A solid hardwood square edge delivers a genuine wood appearance.

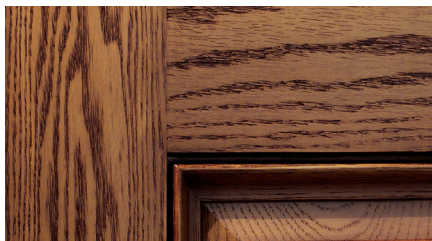
Standard fiberglass bullnose edge.

The bullnose profile, typical of other fiberglass doors, detracts from the authentic wood look.



The look of real wood.

Realistic wood grains that are virtually indistinguishable from high-grade wood doors, thanks to Therma-Tru's AccuGrain® technology.



Details that define a custom door.

Crisp, handcrafted elegance creates embossments that are deeper than standard fiberglass doors.

Architecturally correct for true classic beauty. Doors designed to be architecturally correct, with proportions modeled after classic architectural principles, to create a more premium entryway.

Up to 25% wider panels*



Classic-Craft Premium Door



Standard Fiberglass Door

*Compared to other standard fiberglass doors.

Shutters & Front Door Paint Color



SW 2839 Roycroft Copper Red

Interior/Exterior



Color Details

Color Family: Historic Color

RGB Value: R-123 | G-55 | B-40

Hexadecimal Value: #7B3728

LRV: 7

Due to individual computer monitor limitations, colors seen here may not accurately reflect the selected color. To confirm your color choices, visit your neighborhood Sherwin-Williams store and refer to our in-store color cards.

MY STORE:

NOTES:



BUILT AROUND YOU

2018 PRODUCT CATALOG

MARVIN 
Windows and Doors
Built around you.®



*Ultimate Insert
Double Hung Windows*



ULTIMATE INSERT DOUBLE HUNG NEXT GENERATION

A WINDOW INTO EFFICIENCY

The Marvin® Ultimate Insert Double Hung Next Generation Window adds quality craftsmanship, beauty and energy efficiency to your home without compromising architectural integrity. Its frame-in-frame design is built precisely to seamlessly fit into your unique window opening, so there's no need to remove the existing frame or disturb the exterior or interior trim of your house. Ultimate Insert Double Hung Next Generation Windows, always fit into your existing space and appear completely integrated into your home.





Ultimate Inswing French Door in Stone White



ULTIMATE SWINGING FRENCH DOOR

AN ELEGANT ENTRANCE

The Marvin® Ultimate Swinging French Door is a modern classic that will complement any space. The Ultimate Swinging French Door is unmatched in fit, finish, sizes and configuration. The sill is made of tough Ultrex® that resists warping, denting and fading over the years. So when the weather comes knocking, our performance-tested, energy-efficient doors keep the weather outside. And the concealed multi-point locking system means it stays out. Now available in standard sizes up to nine feet high with matching sidelites and transoms.

INSWING



OUTSWING



ARCH TOP





*Brick Mould Casing and special
subsill with custom mull cover*

CASINGS & SUBSILLS

EXCEEDS SPECIFICATIONS AND EVERY EXPECTATION

Adding Marvin® clad or wood casings and subsills to your windows and doors provides great architectural detail to any home. Our clad casings are made of ultra-durable extruded aluminum, which features a beautiful factory applied finish that resists chalking, fading, pitting, corrosion and marring. Casing profiles are consistent around a window or door, except for the Potter casing profile, which has a taller head. Custom casings and subsills are also available.



BRICK MOULD CASING
WITH A246 SUBSILL



FLAT CASING
WITH A246 SUBSILL



COLUMBUS CASING
WITH A1450 SUBSILL



GRAYSON CASING
WITH A1451 SUBSILL



THORTON CASING
WITH A1450 SUBSILL



RIDGELAND CASING
WITH A1453 SUBSILL



STRATTON CASING
WITH A1453 SUBSILL

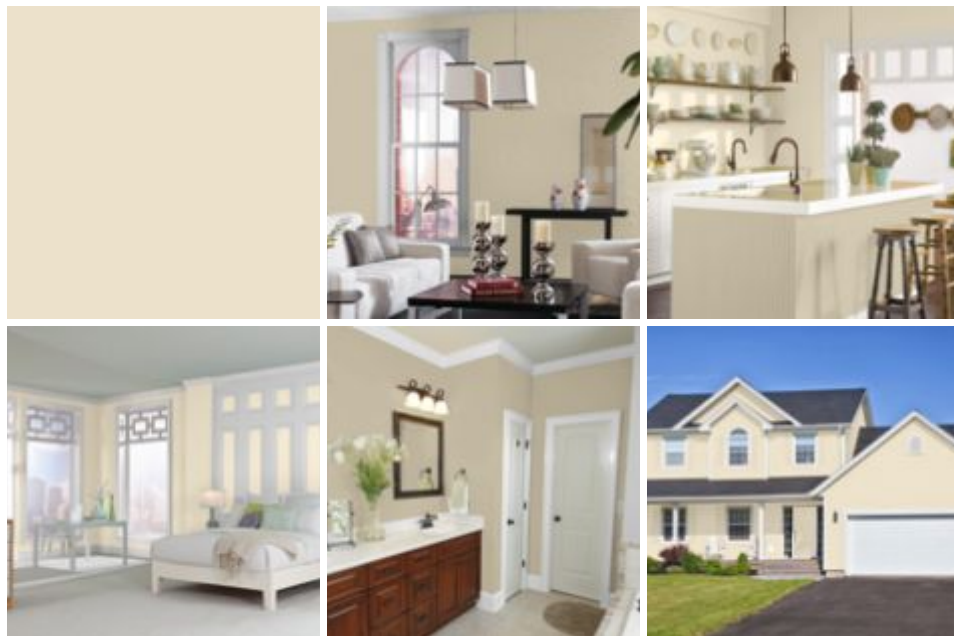


POTTER CASING
WITH A217 SUBSILL



SW 2829 Classical White

Interior/Exterior



Color Details

Color Family: Historic Color

RGB Value: R-236 | G-225 | B-203

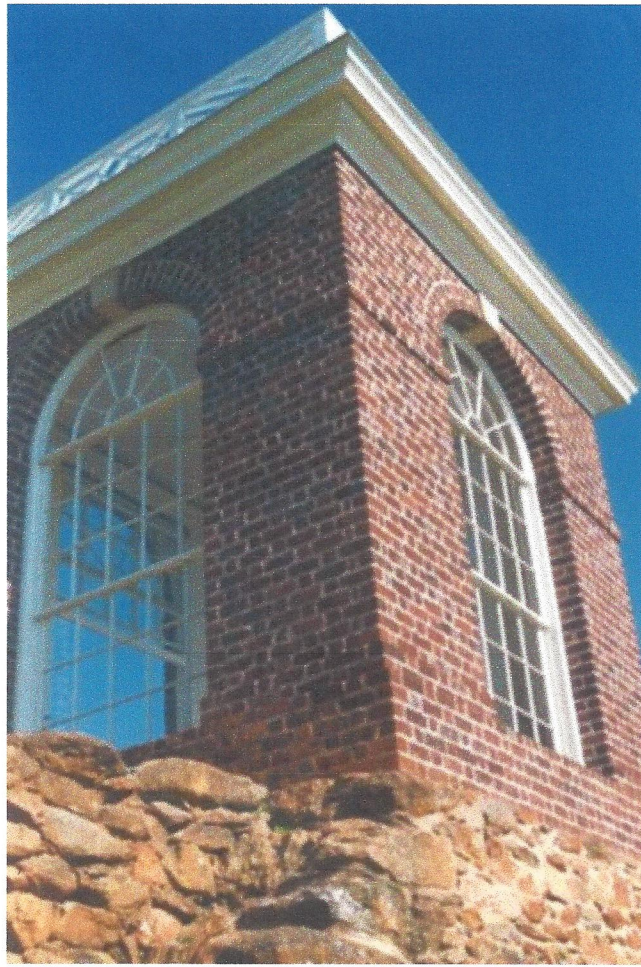
Hexadecimal Value: #ECE1CB

LRV: 76

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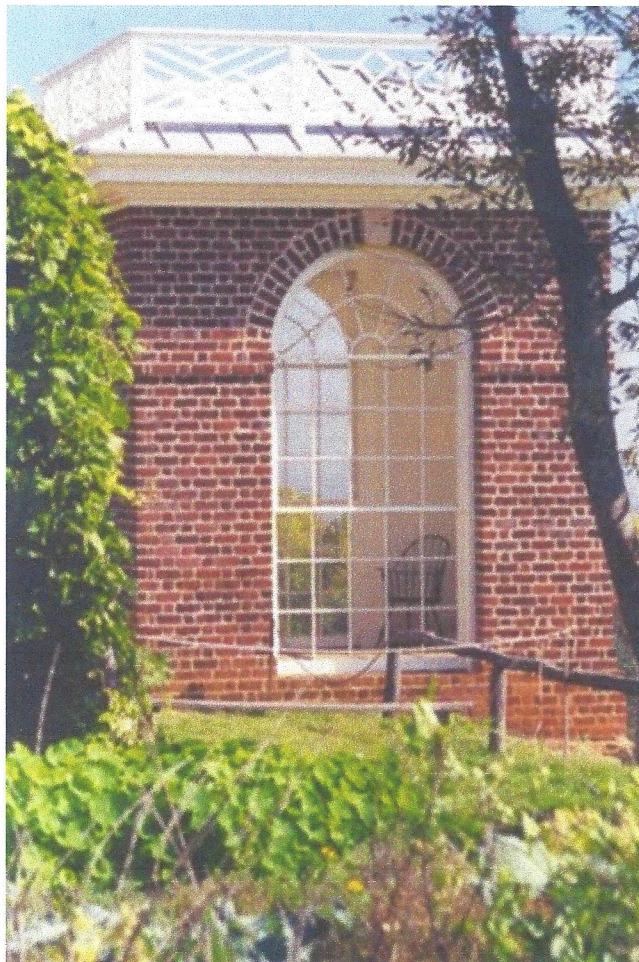
MY STORE:

NOTES:



Featured Brands

CUSHWA
HANDMADE BRICK



HANDMADE BRICKS

Handmade brick are the most labor-intensive to make, requiring individual craftsmen to fill molds by hand, much as brick were made for centuries. The ages-old method produces brick of remarkable color, with faces marked by unique folds and other effects that can't be duplicated using any other method. Though more expensive than extruded and machine-molded brick, handmades have rich character, and are often the best match for older buildings.

Product Gallery



DOOR STYLE OPTIONS

Pella has the style you are looking for.

At Pella, we realize you want a garage door with curb appeal. That is why we offer garage doors in Carriage House, Full View or Traditional styling to complement your home. Pella has a garage door that fits your style and budget.

Carriage House

Add unique character to your home with a Pella® Carriage House garage door that brings authentic, historical looks into the modern world.

Available in:

ARCHITECT SERIES™

PELLA®

THERMASTAR BY PELLA®

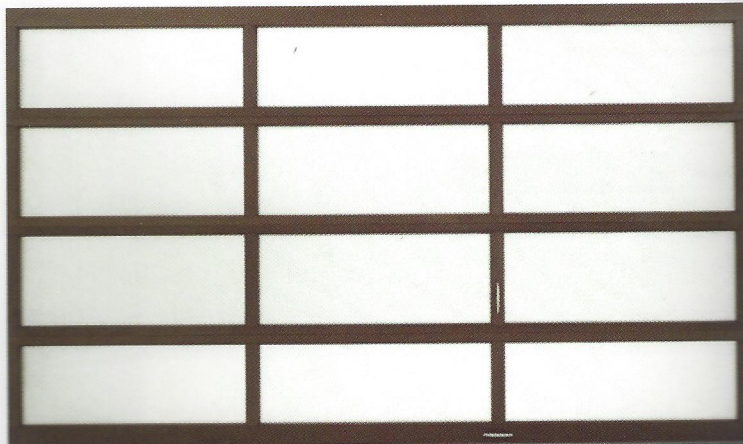


Full View

These modern, sleek, Pella garage doors mirror the clean lines of contemporary homes.

Available on:

PELLA®



Traditional

Classic styling that coordinates with any home and stands the test of time.

Available on:

PELLA®

THERMASTAR BY PELLA®



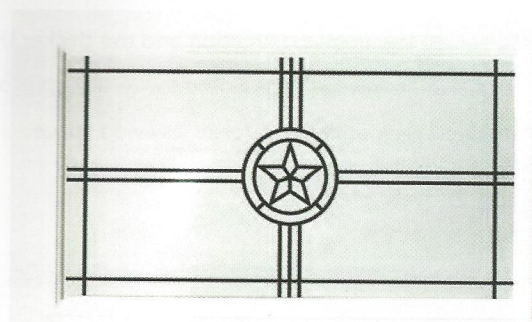
DECORATIVE WINDOW OPTIONS

Enhance your door with light.

Decorative windows dress up your Pella® garage door. Choose the window design that fits your style and complements your home's exterior.

Decorative Windows

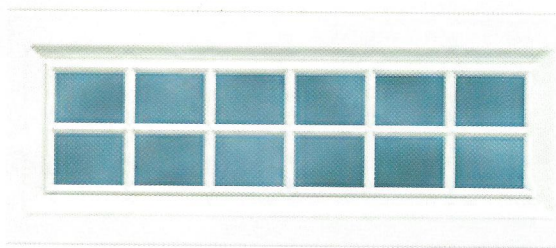
Our decorative glass offers unique designs to enhance the beauty of your home. Enjoy minimal visibility into the garage with obscure glass. Tempered with a baked-on ceramic design, our decorative window designs resist yellowing, fading and peeling.



Available on: **PELLA®** **THERMASTAR BY PELLA®**

Decorative Grilles

Our most affordable decorative window options offer popular patterns to complement other architectural elements of your home. All Pella decorative grilles are UV fade resistant with a realistic-looking embossed woodgrain finish.



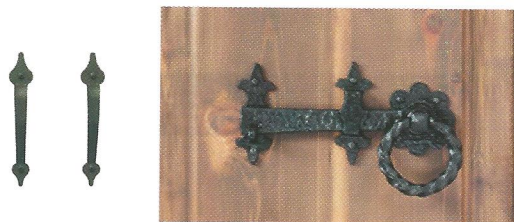
Available on: **PELLA®** **THERMASTAR BY PELLA®**

DECORATIVE HARDWARE OPTIONS

Personalize your door to the finest details.

Decorative Hardware

Our decorative hardware adds the final touches to our Carriage House garage doors. Styles available include lightweight aluminum to best simulate historic hammered wrought iron, easy to install vinyl or economical stamped steel hardware.



Available in: **ARCHITECT SERIES®** **PELLA®**

TIMBERLANE

Because every "Welcome Home" moment should be extraordinary

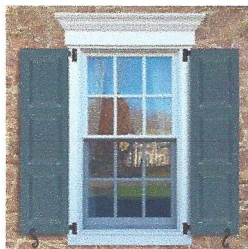
EXTERIOR SHUTTERS (<https://www.timberlane.com/products/exterior-shutters/>)


HARDWARE (<https://www.timberlane.com/products/hardware/>)


Panel Shutters

Panel shutters offer profiles in many varieties. From raised to recessed, Shaker to flat, ogee to quarter-round and bead trim, there are profiles to fit many home styles and tastes. Plus, you can achieve even more variety by configuring your panels.

A 50/50 panel shutter configuration is one of the most popular designs, but some customers opt for a panel/louver combination for even more impact. For all panel profiles, Timberlane uses a craftsman-quality tongue and groove construction to secure the edge of the trim inside the stiles and rails, ensuring a snug, long-lasting fit.



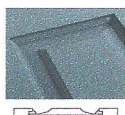
 View Fast Shop
Selections
(<https://www.timberlane.com/store/product-category/exterior-shutters/panel-shutters/>)

Request a Quote 
([shutter-builder/step1_material/](https://www.timberlane.com/shutter-builder/step1_material/))

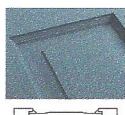
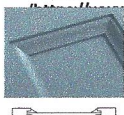
All Panel Profiles

Click any profile below for details and specifications.

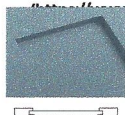
All Materials Endurian Fundamentals Premium Wood



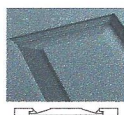
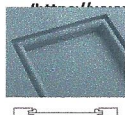
CB1
(<https://www.timberlane.com/shutters/styles/pa>)
View Full
Specs
(<https://www.timberlane.com/shutters/shu>)



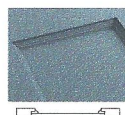
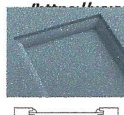
CT1
(<https://www.timberlane.com/shutters/styles/pa>)
View Full
Specs
(<https://www.timberlane.com/shutters/shu>)



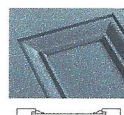
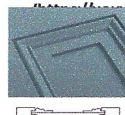
CT2
(<https://www.timberlane.com/shutters/styles/pa>)
View Full
Specs
(<https://www.timberlane.com/shutters/shu>)



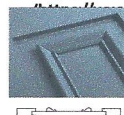
CT3
(<https://www.timberlane.com/shutters/styles/pa>)
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Specs
(<https://www.timberlane.com/shutters/shu>)



CT4
(<https://www.timberlane.com/shutters/styles/pa>)
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Specs
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Specs
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(<https://www.timberlane.com/shutters/styles/pa>)
View Full
Specs
(<https://www.timberlane.com/shutters/shu>)

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(<https://www.timberlane.com/shutters/styles/pa>)
View Full
Specs
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Specs
(<https://www.timberlane.com/shutters/shu>)