



Board of Architectural Review

DATE: January 15, 2020
TO: Board of Architectural Review Chair and Members
THROUGH: Jason Sutphin, Community Development Division Chief *JDS*
FROM: Tommy Scibilia, BAR Liaison *TS*
SUBJECT: **3936 Old Lee Highway – Amendment**

- ATTACHMENTS:
1. Relevant Regulations
 2. Plans and Elevations
 3. Previously Approved Plans and Elevations

Nature of Request

1. Case Number: BAR-19-00906
2. Address: 3936 Old Lee Highway
3. Request: Amendment to approved architecture and site improvements
4. Applicant: City of Fairfax Economic Development Authority (EDA)
5. Applicant’s Representative: Aaron McDade
6. Status of Representative: Agent
7. Zoning: CR Commercial Retail, Old Town Fairfax Historic Overlay District

BACKGROUND

The subject site consists of two adjoining properties located on the west side of Old Lee Highway in the locally designated Old Town Fairfax Historic Overlay District (HOD) as defined in the Zoning Ordinance. It is excluded from the City of Fairfax Historic District as listed on the National and State Registers. To the north is a parking lot that serves Old Town Square park, which lies northwest and west of the site. The Fairfax Surf Shop most recently occupied the building on the subject site, which was originally constructed in 1920 according to City real estate records. This entire block is located within the HOD, and most of the other structures within are listed as contributing structures in the National and State Registers Historic District.

Following a work session on May 15, 2019, the BAR approved both the demolition of the existing building and the architecture and landscaping of a new one-story restaurant on June 19, 2019. The approved restaurant design has a rectangular footprint and double-height ceilings in the dining room

area, creating the appearance of a two-story structure with a total height of 19 feet. A two-story covered outdoor seating deck would span the entire west elevation of the building facing out toward Old Town Square. The roof of the upper level would be even with the roofline of the building. A stairway in the southwest corner of the deck would provide the only means of access to the upper level of the deck.

Approved building materials include a white washed brick called “Bradford Hall Tudor” by General Shale for the body of the building, and stone veneer for the foundation and the face material for the various ramps and decks. A projecting wall surface on the north elevation would contain one of the primary entrances to the building. On July 17, 2019, the BAR reviewed and approved the material of this wall surface to be a dark brown brick, 50-DD Modular by Glen-Gery, as part of a condition of approval on the major certificate of appropriateness. Other architectural features include full-lite double-doors entrances in a white finish with transoms, 15-lite and 12-lite windows in a traditional design with jack arch brick headers, flat metal awnings over the lower windows and entrances painted dark gray, a precast water table separating the stone foundation from the brick wall surfaces, wrought iron railings painted black, and a continuous decorative roofline cornice painted white. A dumpster enclosure attached to the south elevation was approved with the same brick as the north entrance projection, with board-on-board swing gates painted a dark brown color to match the brick. A service entrance on the south elevation would allow access to the kitchen via a raised stoop with a ramp and stairs, covered by a small metal awning.

The approved site design would maintain driveway access along the south side of the building from Old Lee Highway as well as the alleyway across the west side of the site. Approved landscaping includes planting beds with shrubs and groundcover along the east façade and at the southwest corner of the building, and a raised planting bed along the north façade faced in stone veneer. Three trees were approved including a redbud in the planting bed at the northeast corner of the building, a black gum at the southeast corner of the building, and a red maple at the southwest corner of the building. The north entrance was accessible via a concrete porch level with the outdoor seating deck, with a ramp and stairs from the Old Town Square parking lot. The lower level of the seating deck would be accessible from both the north porch and stairs at the northwest corner.

Approved furniture for the outdoor deck includes square metal tables in a black finish and aluminum chairs in a dark gray finish. The decks would both have outdoor ceiling fans with decorative lighting. Lantern-style copper wall sconces were approved at the two main entrances and the south service entrance.

The BAR-approved plans and elevations have been included as Attachment 3.

PROPOSAL

The applicant is proposing to amend the approved site design as the site plan process has begun, and to remove the upper level of the outdoor seating deck due to complications with the requirements of the

Building Code. The building footprint would remain the same, but the north porch would be extended along the majority of this elevation. The porch would be level with a concrete sidewalk to the north of the building extending from Old Lee Highway. The outdoor seating deck would remain level with the north porch, and the previously approved stairs to the deck at its northwest corner would be removed from the design. The existing brick sidewalk along Old Lee Highway would be expanded west to the face of the building to create a wider pedestrian path. The dumpster enclosure would have the same materials as previously approved, but it would be relocated to the southwest of the building, freestanding and facing the alley. The utility meters on the south elevation have been moved closer to the middle of the building face. As in the previous approval, these are proposed to be painted to match the adjacent wall surface to help minimize their visibility. The service entrance to the kitchen on the south elevation would now be sunken partially below grade, and would be accessible from a concrete sidewalk and ramp from the alley to the west, and a sidewalk and steps from Old Lee Highway to the east.

The landscaping proposal has been revised and now includes a smaller planting bed at the northeast corner of the building, a planting bed surrounded by a concrete curb south of the building where the dumpster enclosure was previously located, and a substantial planting bed along the west side of the outdoor seating deck. Four deciduous trees are proposed in the planting areas, including a red maple, redbud, ginkgo, and willow oak. The planting beds would incorporate a variety of shrubs and groundcover, including St. Johnswort, dwarf winterberry holly, shore juniper, feathered reed grass, tickseed, coneflower, coral bells, and fountain grass.

The applicant is requesting to remove the upper level of the outdoor seating deck. This would result in the removal of the stair at the southwest corner of the deck, allowing space for additional tables to be placed on this level. The approved wrought iron railing and corniced flat roof design would remain. The center support column on the north and south ends would be eliminated from the design, and the columns along the west side of the deck would be evenly spaced. Where previously two windows and one door were approved on the west elevation of the building, now three entrances, two double-door and one single-door, are proposed. These doors would be 15-lite white doors with jack arch brick headers. The upper portion of the west façade would incorporate four evenly-spaced rectangular recesses in similar dimensions to the upper windows on the north and east elevations, with matching jack arch brick headers. Other proposed modifications to the architectural design include replacing the full-lite entrance doors with 15-lite entrance doors to match those proposed on the west elevation, increasing the number of divisions in the north and east entrance transoms, and widening the suspended metal awning above the south service entrance to cover the ramped area. There are no other changes proposed to the approved architecture of the building or to the outdoor lighting or furniture.

ANALYSIS

City of Fairfax Design Guidelines:

The following excerpts from the Design Guidelines are relevant to this application.

Historic Overlay District Overview, HOD-1

HOD Goals, HOD-1.8

Respect the existing architectural character when designing new buildings in the HOD.

Undertake changes that will improve pedestrian routes in the HOD.

Continue the emphasis on attractive and well maintained landscaping within the HOD.

Respect the existing physical street patterns and lot orientation of the HOD.

Staff finds the amended design to have no major effect on the approved architecture, and maintains the view that the building's design is sympathetic to the character of the HOD as called for in the above provisions of the guidelines. Staff finds the modifications to the site design to further enhance the pedestrian realm by widening the sidewalk along Old Lee Highway and simplifying the approach from Old Lee Highway to the northern entrance. Staff finds that the proposed modifications to the approved landscaping would further enhance the appearance of this property (see further discussion on landscaping below).

Building Form and Scale, HOD-4.5 – HOD-4.9

Reinforce the human scale of the HOD by including elements such as changes in materials, cornices, and string courses to separate floor levels, window patterns, and other decorative features.

Staff finds the use of wall recesses on the west elevation to be an appropriate design intervention to break up the scale of the wall surface that would be exposed with the removal of the second level of the outdoor seating deck (see further discussion on the proportion and design of the recesses below in Windows Types & Patterns).

Roof Form & Materials, HOD-4.10

The roof design of small infill commercial buildings should usually be flat or sloped behind a parapet wall or it may be a gable roof design.

Staff believes that maintaining the flat roofline for the lower level of the amended outdoor seating deck to be the most appropriate design for this element.

Window Types & Patterns, HOD-4.12

Traditionally designed openings generally are recessed on masonry buildings and have a raised surround on frame buildings. New construction should follow these methods in the HOD as opposed to designing openings that are flush with the rest of the wall.

Many entrances of Fairfax's historic buildings have special features such as transoms, sidelights, and decorative elements framing the openings. Consideration should be given to incorporating such elements in new construction.

Staff finds the use of wall recesses with jack arch brick headers on the west elevation in the same proportions as the upper windows of the north and east elevations to be an appropriate treatment for breaking up the wall surface. Staff believes the increase in the divisions of the entrance transoms to be an appropriate modification that better relates these features to the doors and windows.

Entry Features, HOD-4.13

When designing new storefronts or elements for storefronts, conform to the configuration and materials of traditional storefronts.

Staff finds the use of doors on the west elevation for access to the porch that match those used at the north and east entrances to be an appropriate treatment. Staff believes the change from full-lite to 15-lite door design is appropriate and consistent with the approved window design.

Architectural Details & Decorative Features, ACOD-4.16

Cornices are a common element on most of Fairfax's historic buildings from all past eras and their inclusion in some form in new construction will help relate the new design to existing structures. In commercial buildings, there may be some sort of cornice above the storefront as well.

Other details may highlight window and entrance surrounds or divide building levels with different textured or colored masonry to name just several of many possibilities. These and other decorative elements also may help to create a human scale to the exterior design.

Staff finds the retention of the cornice along the outdoor seating deck roofline to be appropriate, and the use of jack arch headers in the modified entrances and in the wall recesses on the west elevation to be a successful way of extending the design language of the north and east elevations to this side of the building.

Private Site Design & Elements, HOD-11

Paving, HOD-11.3

Use paving materials that are respectful of surrounding traditional building and paving materials, patterns, and unit size. Explore the use of pervious paving materials.

Staff maintains that the use of poured concrete for the sidewalks and entrance areas onsite is an acceptable hardscape treatment. Staff believes the use of brick to widen the Old Lee Highway sidewalk would both create a seamless transition to neighboring properties in the HOD and a safer and more inviting pedestrian environment consistent with the recently adopted Old Town Streetscape Standards.

Landscaping, HOD-11.4

Use plant materials that are appropriate and hardy to this region and to harsh urban conditions. Select materials with concern for their longevity and ease of maintenance. From these selections, create a distinctive and visually attractive outdoor space.

Use landscape edges such as a row of street trees, or where trees cannot be installed due to utility or other restrictions, use a shrub layer or herbaceous planting to create a unifying edge or seam between adjacent developments and their face on the public right-of-way.

Enhance the site's appearance by incorporating a layered landscape with a variety of plant materials. Consider color, texture, height, and mass of plant selections in a planting composition.

Create well-defined outdoor spaces, delineate pathways and entries, and create a sense of continuity from one site to another.

Use plant materials to soften large buildings, hard edges, and paved surfaces.

Refer to the plant list included in Appendix III for recommended plants for use in various site conditions and uses.

Overall, the amount of landscaping is being increased with this amendment request. Staff finds the placement of landscaping onsite to be appropriate, and the inclusion of a variety of species of shrubs, groundcover, and deciduous trees of varying sizes to be consistent with the guidelines. While the narrow landscape bed along the east elevation of the building has been removed with this proposal, staff finds a widened sidewalk to be preferable. The addition of a substantial landscape bed spanning the entire western edge of the outdoor seating deck is a positive trade off. Many of the proposed species can be found in Appendix III of the guidelines.

Appurtenances, HOD-11.8

As accessory components, these elements should be placed in inconspicuous areas on a site, screened and shielded from public view.

Staff finds the relocation of the utility meters on the south elevation to have negligible effect on the appearance of the building, especially because they would be painted to match the adjacent wall surface.

Gathering Spaces, HOD-11.9

Orient buildings to form gathering spaces rather than isolating them in forgotten, unattractive portions of the site. Use trees, walls, topography, and other site features to define gathering spaces and to lend a human scale to the area. Shade is an important component and could be provided by a shade structure, trees, or overhang from an adjacent building.

Staff finds the location and orientation of the outdoor seating deck to be consistent with these guidelines and a good method of coordinating activity between multiple sites in the HOD. Staff does not believe the loss of the second level would have a negative effect on the overall appearance of the building.

Comprehensive Plan:

The following excerpts from the 2035 Comprehensive Plan are relevant to this application.

Chapter 2 – Land Use

Activity Centers – Physical Characteristics

In general, new development in Activity Centers should support a connected street network as recommended in the Multimodal Transportation Chapter of the Comprehensive Plan; provide an improved streetscape and pedestrian connections to surrounding uses, including links to the existing pedestrian network; and include inviting public and/or private open spaces. (32)

Commercial Corridors and Activity Centers Goal 2 – Promote redevelopment in the City’s Activity Centers.

ACTION CCAC2.1.1 – Capitalize on the authenticity and appeal of Old Town Fairfax as an historic place and a shopping, dining, and tourist destination. (51)

Community Design and Historic Preservation Guiding Principle – In 2035, Fairfax is a city with architecture that contributes to a vibrant, creative place and complements our historic character. (60)

Community Design and Historic Preservation Goal 1 – Require high-quality, sustainable design.

OUTCOME CDHP1.2: Attractive buildings, inviting public spaces, and welcoming gateways that contribute to our economic vitality and unique character. (64)

OUTCOME CDHP2.2: Redevelopment that respects nearby historic structures and the established architectural pattern. (65)

Staff maintains that the approved architecture of the restaurant building is sympathetic to the built environment of the HOD, consistent with the Design Guideline standards, and the proposed modifications do not change that view. Staff finds the modifications made to the site design to be an overall improvement to the approved site design that is more conducive to safe pedestrian activity.

RECOMMENDATIONS

Staff finds the amended design to be consistent with the City's Design Guidelines and Comprehensive Plan, and therefore recommends approval of the major certificate of appropriateness with the following conditions:

1. The proposed modifications shall be in general conformance with the review materials received by staff and included in the staff report, as modified through the date of this meeting, except as further modified by the Board of Architectural Review, the Director of Community Development and Planning, Zoning, or the Building Official. +

RELEVANT REGULATIONS

- Attachment 1-

§3.7.2. Historic overlay district

A. General

2. All structures and improvements erected, enlarged, or reconstructed in historic overlay districts shall be designed and constructed in a manner that will complement the unique character of the district with respect to building size, scale, placement, design and the use of materials.

3. Improvements within this district shall be subject to the approval of a certificate of appropriateness in accordance with the provisions of §6.5.

B. Old Town Fairfax Historic Overlay District

1. Applicability

Development in the Old Town Fairfax Historic Overlay District shall comply with the requirements of this §3.7.2.B

4. Dimensional standards

(a) Lot area, minimum

None

(b) Lot width, minimum

None

(c) Height, maximum

36 feet, three stories, provided that, decorative architectural elements not used for human habitation, such as towers and spires, may extend an additional five feet above the maximum height specified above.

(d) Required yards (setbacks)

(1) Build-to line, mandatory (percent): 50 percent

(2) Front and side (street) yard, maximum

(i) 10 feet

(ii) Areas contiguous with the structure and used for outdoor dining and service, public plazas, gazebos, landscaped areas, recreation and open space, or courtyards shall be exempt from the maximum yard requirement.

(iii) The yard area shall not be used for parking, except bicycle parking.

(3) Front and side (street) yard, minimum

(i) Where necessary to accommodate a ten-foot wide sidewalk:
10 feet

(ii) Where not necessary to accommodate a ten-foot wide sidewalk: None

(4) Side (interior) yard

(i) Adjacent to residential district property outside the district overlay boundaries: 25 feet, and a transitional yard TY2 shall be provided in accordance with the provisions of §4.5.5.

(ii) Not adjacent to residential district property outside the district overlay boundaries: None

(5) Rear yard

(i) Adjacent to residential district property outside the district overlay boundaries: 25 feet, and a transitional yard TY2 shall be provided in accordance with the provisions of §4.5.5.

(ii) Not adjacent to residential district property outside the district overlay boundaries: None

(e) Bulk plane

(1) Adjacent to residential district property outside the district overlay boundaries: 45 degrees

(2) Not adjacent to residential district property outside the district overlay boundaries: None

(3) The bulk plane requirements above shall not be interpreted as applying on the front or side (street) of a lot.

(4) Lot coverage (maximum): 100 percent

(5) Building coverage (maximum): 90 percent

5. Off-street parking

The minimum required parking of §4.2.3.E shall be reduced as follows:

(a) Parking District A: 100 percent

(b) Parking District A shall consist of the area bounded on the west by Chain Bridge Road, on the east by East Street, on the north by North Street and on the south by Sager Avenue containing four blocks, together with the area bounded on the north and west by North Street, on the east by Chain Bridge Road, and on the south by Main Street containing one block.

(c) All other parts of the Old Town Fairfax Historic Overlay District: 50 percent for all uses.

6. Safe sight triangle requirements

The safe sight triangle requirements of §4.3.4 shall not apply in the Old Town Fairfax Historic Overlay District.

7. Street trees

The street tree requirements of §4.5.6.B shall not apply in the Old Town Fairfax Historic Overlay District.

8. Signs

(a) Applicability

All signs otherwise allowed in the underlying general use district (§4.6.8) shall be subject to the approval of a certificate of appropriateness in accordance with the provisions of §6.5; provided, however, changes to text only, temporary signs,

or signs allowed without a permit (§4.6.3), excluding §4.6.3.D and §4.6.3.G, shall not be subject to such approval. Changes to the font color and size are subject to approval of a certificate of appropriateness.

§5.4.5. Powers and duties

B. Final decisions

The board of architectural review shall be responsible for final decisions regarding the following:

1. Certificates of appropriateness, major (§6.5)

§6.5.1. Applicability

Certificates of appropriateness shall be reviewed in accordance with the provisions of §6.5.

A. A certificate of appropriateness shall be required:

1. To any material change in the appearance of a building, structure, or site visible from public places (rights-of-way, plazas, squares, parks, government sites, and similar) and located in a historic overlay district (§3.7.2), the Old Town Fairfax Transition Overlay District (§3.7.3), or in the Architectural Control Overlay District (§3.7.4). For purposes of §6.5, “material change in appearance” shall include construction; reconstruction; exterior alteration, including changing the color of a structure or substantial portion thereof; demolition or relocation that affects the appearance of a building, structure or site;

§6.5.3. Certificate of appropriateness types

There are two types of certificate of appropriateness with differing levels of approval required for each. The criteria for establishing which type of certificate of appropriateness and the corresponding level of approval for each are indicated below.

A. Minor certificate of appropriateness

1. Applicability

A minor certificate of appropriateness shall include proposed changes to:

- (a) Awnings, doorways, ramps, walkways, shutters, porches, railings and similar features;
- (b) Landscaping features, involving the planting of grass, trees or shrubs, minor grading, walks, low retaining walls, fencing, street furniture, outdoor seating areas, small fountains, and ponds;
- (c) Screening for dumpsters or mechanical equipment, either on the ground or on the structure;
- (d) Exterior lighting, including poles and fixtures;
- (e) Signs in the Old Town Fairfax Historic Overlay and the Old Town Fairfax Transition Overlay Districts as specified in §3.7.2.B.8 and §3.7.3.G, respectively;
- (f) Antennas, satellite dishes or other communications devices, skylights or similar appurtenances; and
- (g) Features and changes similar to those listed above.

2. Approval authority

The director shall have authority to approve all minor certificates of appropriateness.

B. Major certificate of appropriateness

1. Applicability

Any development requiring a certificate of appropriateness not listed in §6.5.3.A, above, as a minor certificate of appropriateness shall be considered a major certificate of appropriateness.

2. Approval authority

(a) General

Except as specified in §6.5.3.B.2(b), below, the board of architectural review shall have authority to approve major certificates of appropriateness.

(b) Alternative (in conjunction with other reviews)

Alternatively, and in conjunction with special use reviews, planned development reviews, special exceptions or map amendments (rezoning), the city council may approve major certificates of appropriateness.

§6.5.5. Action by director

The director shall review applications for certificates of appropriateness compliance with the approval criteria of §6.5.7. Based on the results of the review, the director shall take final action on minor certificates of appropriateness, and shall prepare a report and recommendation to the decision-making body on major certificates of appropriateness.

§6.5.6. Action by decision-making body

A. General (involving other review by city council)

After receiving the director's report on proposed certificates of appropriateness, which do not involve other reviews described below, the board of architectural review (BAR) shall review the proposed certificates of appropriateness in accordance with the approval criteria of §6.5.7. The BAR may request modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the BAR may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

B. Other reviews

1. Prior to taking action on special use reviews, planned development reviews, special exceptions and map amendments (rezoning), the city council shall refer proposed certificates of appropriateness to the BAR for review in accordance with the approval criteria of §6.5.7.

2. In conjunction with special use reviews, planned development reviews, special exceptions and map amendments (rezoning), the city council may review the proposed certificate of appropriateness in accordance with the approval criteria of §6.5.7. The city council may request modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the city council may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

§6.5.7. Approval criteria

A. General

1. Certificate of appropriateness applications shall be reviewed for consistency with the applicable provisions of this chapter, the City of Fairfax Design Guidelines, and any other adopted design guidelines.
2. Approved certificates of appropriateness shall exhibit a combination of architectural elements including design, line, mass, dimension, color, material, texture, lighting, landscaping, roof line and height conform to accepted architectural principles and exhibit external characteristics of demonstrated architectural and aesthetic durability.

§6.5.9. Action following approval

- A. Approval of any certificate of appropriateness shall be evidenced by issuance of a certificate of appropriateness, including any conditions, signed by the director or the chairman of the board of architectural review. The director shall keep a record of decisions rendered.
- B. The applicant shall be issued the original of the certificate, and a copy shall be maintained on file in the director's office.

§6.5.10. Period of validity

A certificate of appropriateness shall become null and void if no significant improvement or alteration is made in accordance with the approved application within 18 months from the date of approval. On written request from an applicant, the director may grant a single extension for a period of up to six months if, based upon submissions from the applicant, the director finds that conditions on the site and in the area of the proposed project are essentially the same as when approval originally was granted.

§6.5.11. Time lapse between similar applications

- A. The director will not accept, hear or consider substantially the same application for a proposed certificate of appropriateness within a period of 12 months from the date a similar application was denied, except as provided in §6.5.11.B, below.
- B. Upon disapproval of an application, the director and/or board of architectural review may make recommendations pertaining to design, texture, material, color, line, mass, dimensions or lighting. The director and/or board of architectural review may again consider a disapproved application if within 90 days of the decision to disapprove the applicant has amended his application in substantial accordance with such recommendations.

§6.5.12. Transfer of certificates of appropriateness

Approved certificates of appropriateness, and any attached conditions, run with the land and are not affected by changes in tenancy or ownership.

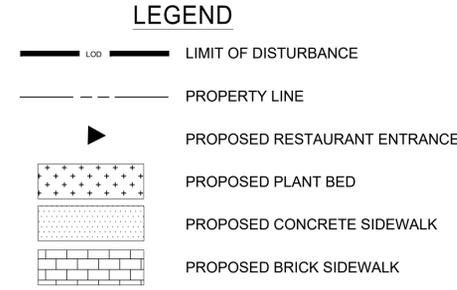
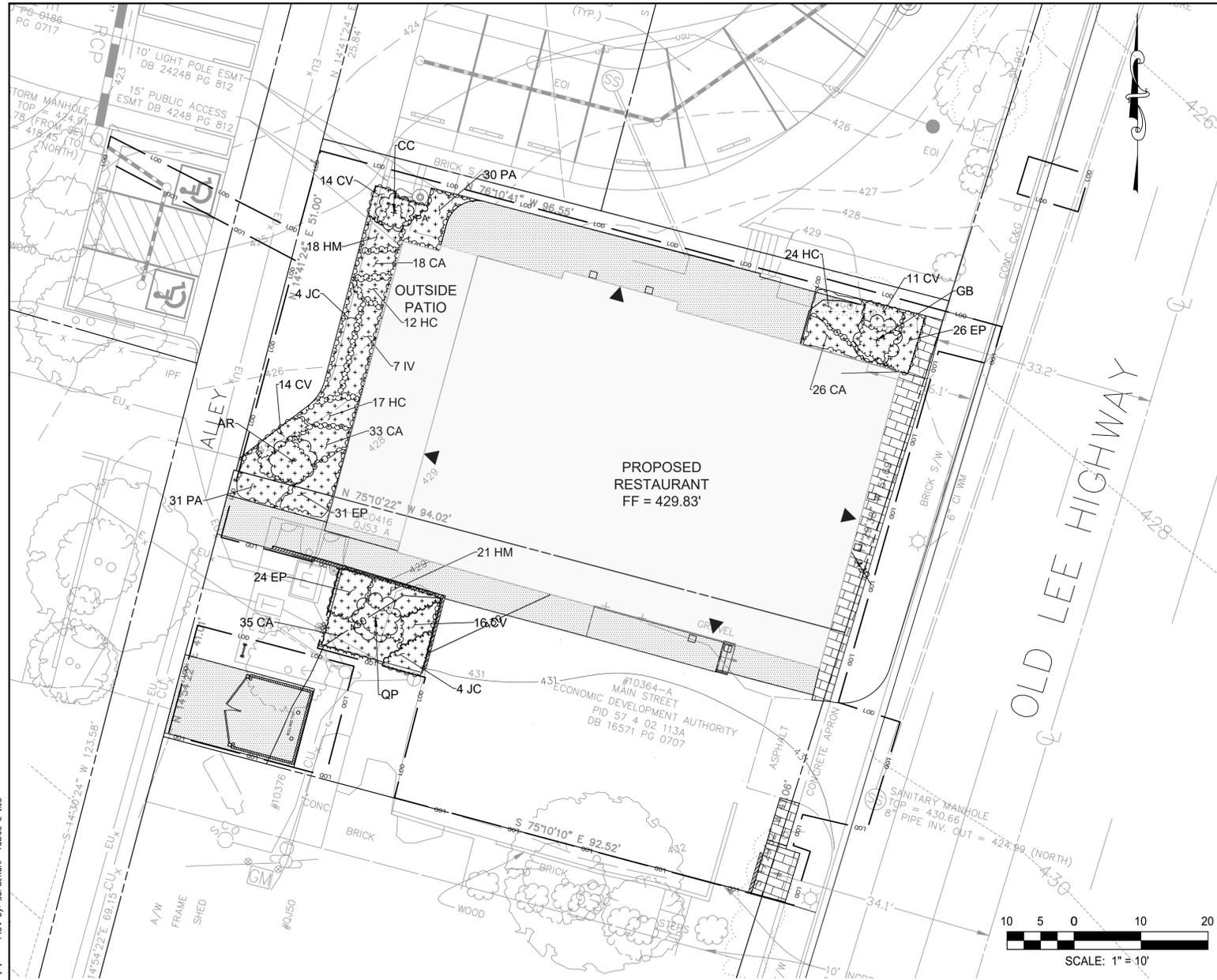
§6.5.13. Appeals

A. Appeals to city council

Final decisions on certificates of appropriateness made may be appealed to city council within 30 days of the decision in accordance with §6.22.

B. Appeals to court

Final decisions of the city council on certificates of appropriateness may be appealed within 30 days of the decision in accordance with §6.23.



- LANDSCAPE NOTES**
1. THE AREA SURROUNDING ALL TREES, SHRUBS AND GROUND COVER SHALL BE TOPPED WITH TWO INCHES OF SHREDDED HARDWOOD BARK MULCH.
 2. NO CHANGES SHALL BE PERMITTED TO THE PLANT LIST UNLESS APPROVED BY THE CITY OF FAIRFAX.
 3. TREES SHALL BE CLASSIFIED AS PER "AMERICAN STANDARD FOR NURSERY STOCK" AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL BELOW THIS STANDARD SHALL NOT BE CONSIDERED.
 - A) ALL PLANTS MUST CONFORM TO REQUIREMENTS PER PLANT LIST;
 - B) ALL PLANT MATERIALS MUST BE NURSERY GROWN STOCK;
 - C) ALL TREES MUST BE WELL BRANCHED, FULL CROWN.
 4. AT LEAST FIVE DAYS BEFORE BEING PLANTED, THE SITE PLAN COORDINATOR SHALL BE NOTIFIED THAT PLANTS ARE AVAILABLE FOR INSPECTION.
 5. NO TREE SHALL BE PLANTED WITHIN A SAFE SIGHT TRIANGLE.
 6. ALL PLANT TYPES USED SHALL REQUIRE THE USE OF LOCALLY ADOPTED TREES
 7. SEE SHEET C-1.12 FOR PLANTING DETAILS.

Symbol	Botanical Name	Common Name	Size	Spacing	Qty
TREES					
AR	Acer Rubrum	Red Maple	2" B&B	On Plan	1
CC	Cercis Canadensis	Redbud	2" B&B	On Plan	1
GB	Ginkgo Biloba	Ginkgo (male only)	2" B&B	On Plan	1
QP	Quercus Phellos	Willow Oake	2" B&B	On Plan	1
SHRUBS					
HC	Hypericum calycinum	St. Johnswort	3 gal	18" OC	53
IV	Ilex verticillata 'Red Sprite'	Dwarf Winterberry Holly	3 gal	3' OC	7
	Ilex verticillata 'Jim Dandy' (1 for every 5 Red Sprite)				
JC	Juniperus conferta 'Blue Shore'	Shore Juniper	3 gal	3' OC	8
HERBACEOUS					
CA	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	15" OC	112
CV	Coreopsis verticillata 'Moonbeam'	Tickseed	1 gal	15" OC	56
EP	Echinacea Purpurea	Coneflower	1 gal	15" OC	81
HM	Heuchera micrantha 'Palace Purple'	Coral Bells	1 gal	15" OC	39
PA	Pennisetum alopecuroides 'Little Bunny'	Fountain Grass	1 gal	15" OC	61

I. General

1. Landscape Specifications: Landscape specifications shall be as outlined below. Any item or procedure not mentioned below shall be as specified in the Landscape specification guidelines published by the Landscape Contractors Association (latest edition).
2. Plant Materials: The Landscape Contractor shall furnish and install and/or dig, ball, burlap, and transplant plant materials called for on the drawings and/or listed in the plant schedule. The City reserves the right to inspect plant material at the nursery source, before off-loading at the project site, when in storage or prior to installation.
3. Plant Names: Plant names used in the plant schedule shall be identified in accordance with Hortus Third, by L.H. Bailey, 1976.
4. Plant Standards: Plant materials shall be equal to or better than the requirements of the "American Standard for Nursery Stock" (ANSI Z60.1 latest edition), as published by the American Association of Nurserymen (hereinafter referred to as AAN standards). Plants shall be typical of their species and variety, shall have a normal habit of growth, and shall be first quality, sound, vigorous, well branched, and with healthy, well-furnished root systems. They shall be free of disease, insect pests, and mechanical injuries.
 - (A) Plants shall be nursery grown and shall have been grown under the same climatic conditions as the location of the subject project for at least two years before planting. Neither heeled-in plant, nor plants from cold storage will be accepted.
 - (B) Collected plants or transplanted trees when specified by the landscape architect may be used, provided that locations and soil conditions will permit proper balling.
5. Materials for Planting:
 - (A) Stakes for guying trees shall be sound oak or other approved hardwood. Three stakes spread 120-degrees apart shall be used when detailed. Notch stakes for wire. See details. Trees located between sidewalk and curb shall have two stakes.
 - (B) Tree Guys: Provide wire ties and guys of 2-strand, twisted, pliable galvanized steel wire not lighter than 12-gauge with zinc coated turnbuckles. Provide w-ply garden hose not less than 0.5-inch hose size, cut to lengths to protect tree trunks from damage by wires. Provide 14-gauge wire for trees less than 12-ft. height. Wire for guy may be twisted when a turnbuckle is not specified by the landscape architect. Use of tree ties in lieu of wire is acceptable.
 - (C) Mulching: Mulch shall consist of double shredded hardwood mulch.
6. Planting Schedule: A professional horticulturist/nurseryman shall be consulted to determine the proper time, based on plant species and weather conditions, to move and install plant materials to minimize stress to the plant. Planting of deciduous material may be continued during the winter months provided there is no frost on the ground and frost-free soil planting mixtures are used.

II. Planting Execution

1. Excavation of Plant Pits
 - (A) Circular Pits, with vertical sides shall be excavated for all plants. In heavy soils, slope the sides outward. The diameter of the holes shall be 18-inches greater than the diameter of the ball for trees, or 1.5 times the diameter of shrubs and container grown material.
 - (B) The depth of pits shall allow for one-eighth of the tree root ball or container depth to be above existing grade.
 - (C) Obstructions encountered in excavated or planted areas shall be removed or plants relocated as approved.
 - (D) Plants shall be planted plumb, at slightly above grade as in the nursery (in relation to finished grade); tamp topsoil under and around base of ball to fill all voids. Remove all burlap, ropes, plastic or synthetic twine or film, and wires from sides and tops of balls, but do not remove burlap from under ball. Thoroughly water when hole is two-thirds full of topsoil. Mix soil amendments thoroughly with soil mixture. Backfill pit halfway and tamp as pit is filled. Do not over compact remainder of backfill. After watering, 3" of mulch shall be applied over a 3" earth berm to create a shallow watering basin around the tree.
 - (E) Shrubs shall be planted in conformance with deciduous shrub planting Detail 8.05.
2. Staking and Guying
 - (A) Each tree or evergreen shall be immediately staked or guyed after planting.
 - (B) Deciduous trees 2-2.5" caliper or larger and all evergreen trees shall be staked and guyed with three 2" x 2" x 6' hardwood stakes per tree, spread 120-degrees apart. Hardwood stakes shall be driven no less than 10-inches below subgrade and outside the root ball. A double strand of 12-gauge galvanized wire shall be twisted and threaded through 0.5-inch garden hose to protect the tree trunk and secured to the hardwood stake. Notch stakes for wire.
 - (C) The 12-gauge galvanized wire shall be placed at a 45-degree angle from the tree to the stake. See Detail 8.04.
3. Plant Pruning, Edging, and Mulching
 - (A) Pruning shall be by experienced landscape personnel. Remove broken or damaged branches and roots. Cut back and thin deciduous material to retain two-thirds of the initial branches. Cut back evergreens to give compact uniform appearance. Damaged or pruned tree leaders shall be cause for rejection. Do not cut leaders.
 - (B) If foliage is present on deciduous plant material, they shall be sprayed with an anti-desiccant, which slows down the transpiration process, through reducing the danger of dehydration.
 - (C) The areas around isolated plants shall be edged and cultivated to the full diameter of the pit.
 - (D) After cultivation, plant material shall be mulched with a three-inch layer of double shredded mulch over the entire area of the bed or saucer.

III. Warranty: Plant material shall have a one-year warranty commencing on the date of initial acceptance. Plant material shall be alive and in satisfactory condition at the end of the warranty period. Plant material will be considered dead if 25% or more of the material is found to be dead. Trees with a leader that has died will be considered dead. Trees with 25% or more crown found to be dead will also be considered dead.

- (A) Dead plants shall be replaced in the next planting period or as approved.
- (B) Replacements shall be of same type and size of specie originally specified or as approved.
- (C) The warranty shall be for a one-time only replacement.
- (D) Contractor will not be responsible for vandalism or losses due to abnormal weather conditions.

3936 Old Lee Hwy Planting Schedule

Site Area (sf)	8,722
10% Tree Canopy Required (sf)	872
Tree Canopy Provided (sf)	875

Common Name Botanical Name	Minimum Planting Area	Planting Area Provided	Caliper	Quantity	Stock Type	Projected 10-yr Tree
	Required (sf)	(sf)				Cover Area (sf)
Eastern Redbud <i>Cercis canadensis</i>	50	53	3"	1	B&B	125
Red Maple <i>Acer rubrum</i>	130	211	3"	1	B&B	250
Ginkgo (male only) <i>Ginkgo biloba</i>	130	138	3"	1	B&B	250
Willow Oak <i>Quercus phellos</i>	130	185	3"	1	B&B	250

MAP: Projects\2019\19117_SurfShed\RD\CADD\Plans\C-1.05_Landscape_Plan.dwg Dec 05, 2019 - 2:00pm
 RKK: SITE.CTB Plot Scale: 1"=10' Plot By: sorddekoni Tabala C-1.05

PLAN REVISIONS -
 2ND SUB CITY OF FAIRFAX
 SHEET C-1.05
 SCALE: AS SHOWN
RESTAURANT
 OLD TOWN SQUARE
 FAIRFAX, VA
 LANDSCAPE PLAN
 DATE: 11/22/2019
 ENGINEER: CS, SA
 CAD: SA
 CHECKED: KDE
 JOB#: 0917

 300 M STREET, SE
 SUITE 560
 WASHINGTON, DC 20003
 (P) 202 479-2707



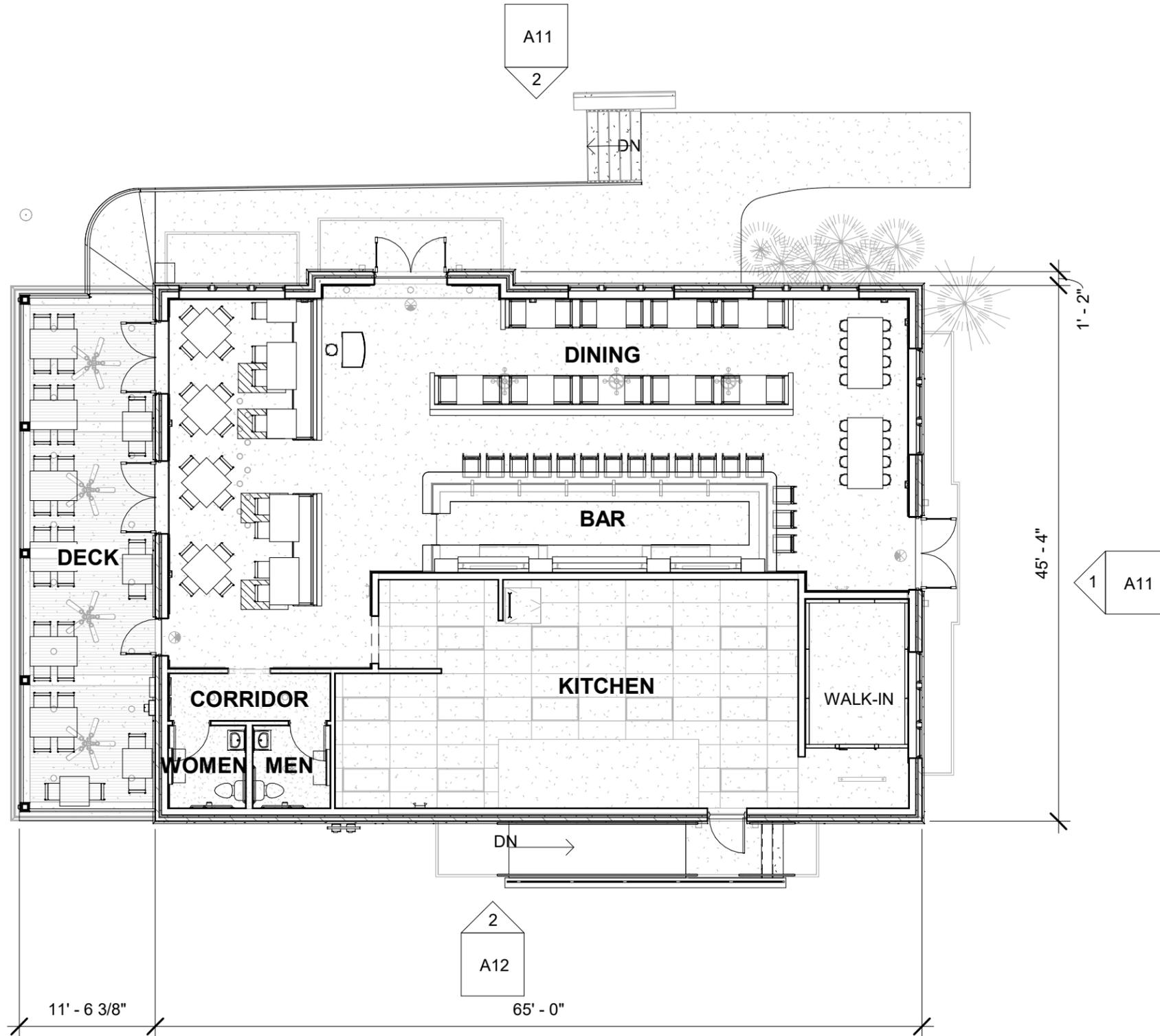
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 804-550-3098
 804-550-1217 (Fax)



RESTAURANT
 3936 OLD LEE HWY.
 OLD TOWN SQUARE, FAIRFAX, VA.

No.	Description	Date

Perspective		
Project number	18-075	R2
Date	12-4-19	
Drawn by	Author	
Checked by	Checker	
Scale		12" = 1'-0"



1 Floor Plan
3/32" = 1'-0"

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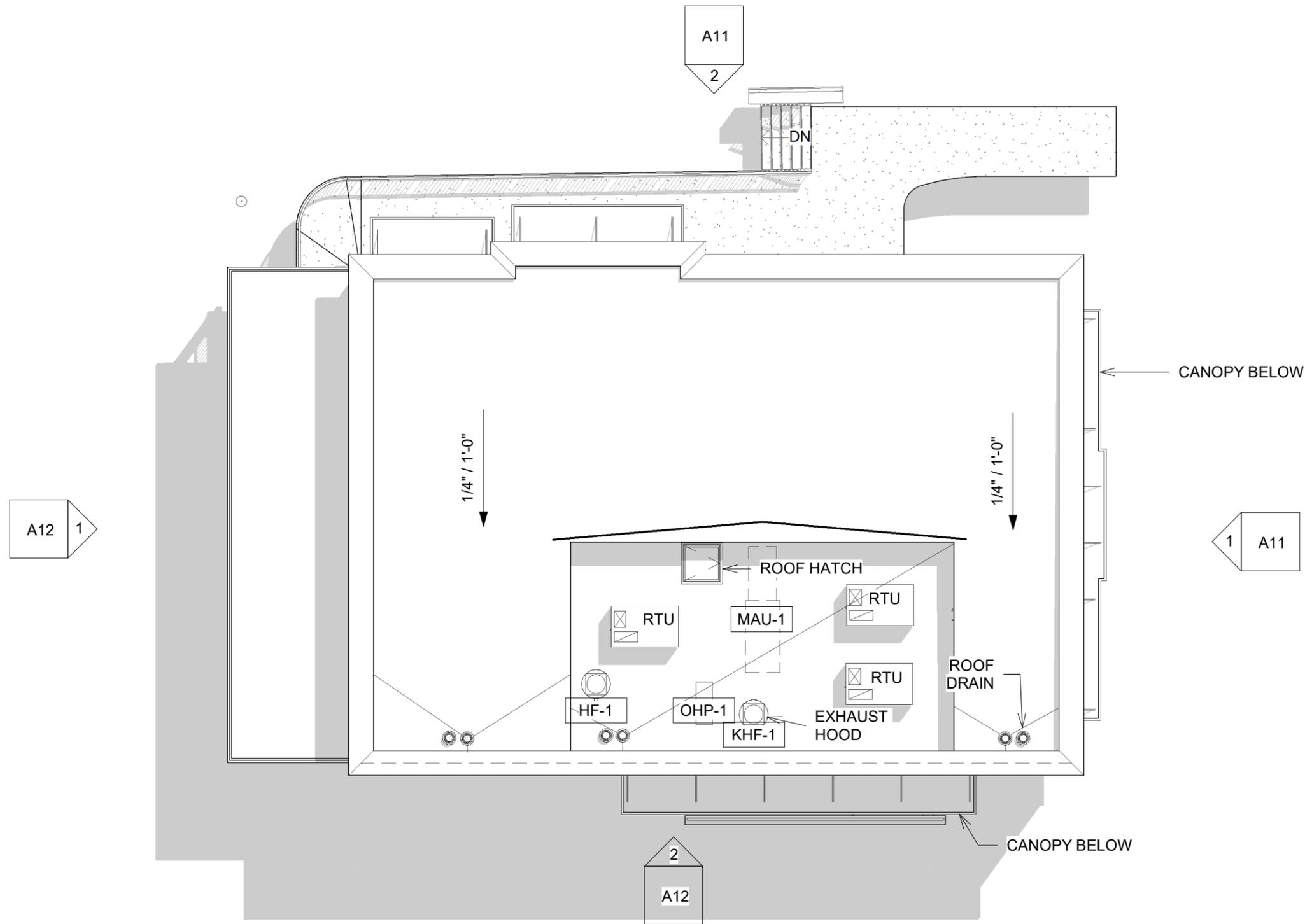
RESTAURANT
3936 OLD LEE HWY.
OLD TOWN SQUARE, FAIRFAX, VA.

No.	Description	Date

Floor Plan - Tabloid

Project number 18-075
Date 12-4-19
Drawn by Author
Checked by Checker

A10
Scale 3/32" = 1'-0"



1 ROOF PLAN
3/32" = 1'-0"

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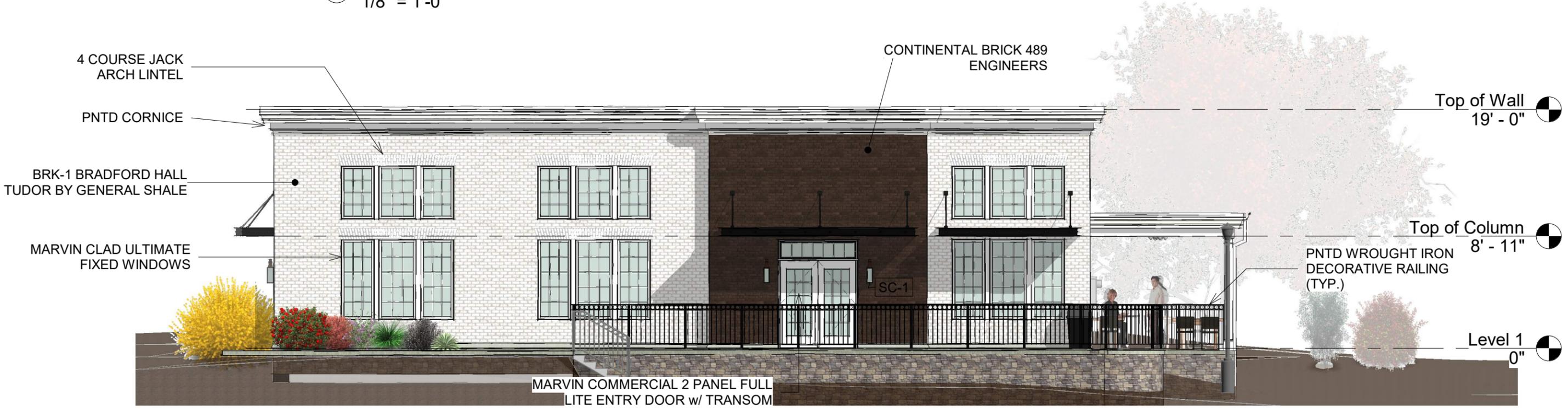
RESTAURANT
3936 OLD LEE HWY.
OLD TOWN SQUARE, FAIRFAX, VA.

No.	Description	Date

Roof Plan - Tabloid		A10.1
Project number	18-075	
Date	12-4-19	
Drawn by	Author	
Checked by	Checker	
Scale 3/32" = 1'-0"		

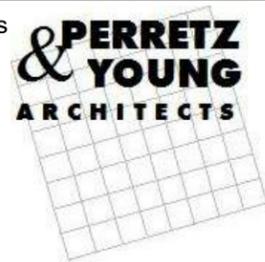


① East Elevation
1/8" = 1'-0"



② North Elevation
1/8" = 1'-0"

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RESTAURANT
3936 OLD LEE HWY.
OLD TOWN SQUARE, FAIRFAX, VA.

No.	Description	Date

Elevations - Tabloid		
Project number	18-075	A11
Date	12-4-19	
Drawn by	Author	
Checked by	Checker	
Scale		1/8" = 1'-0"

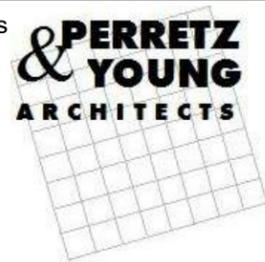


① West Elevation
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"

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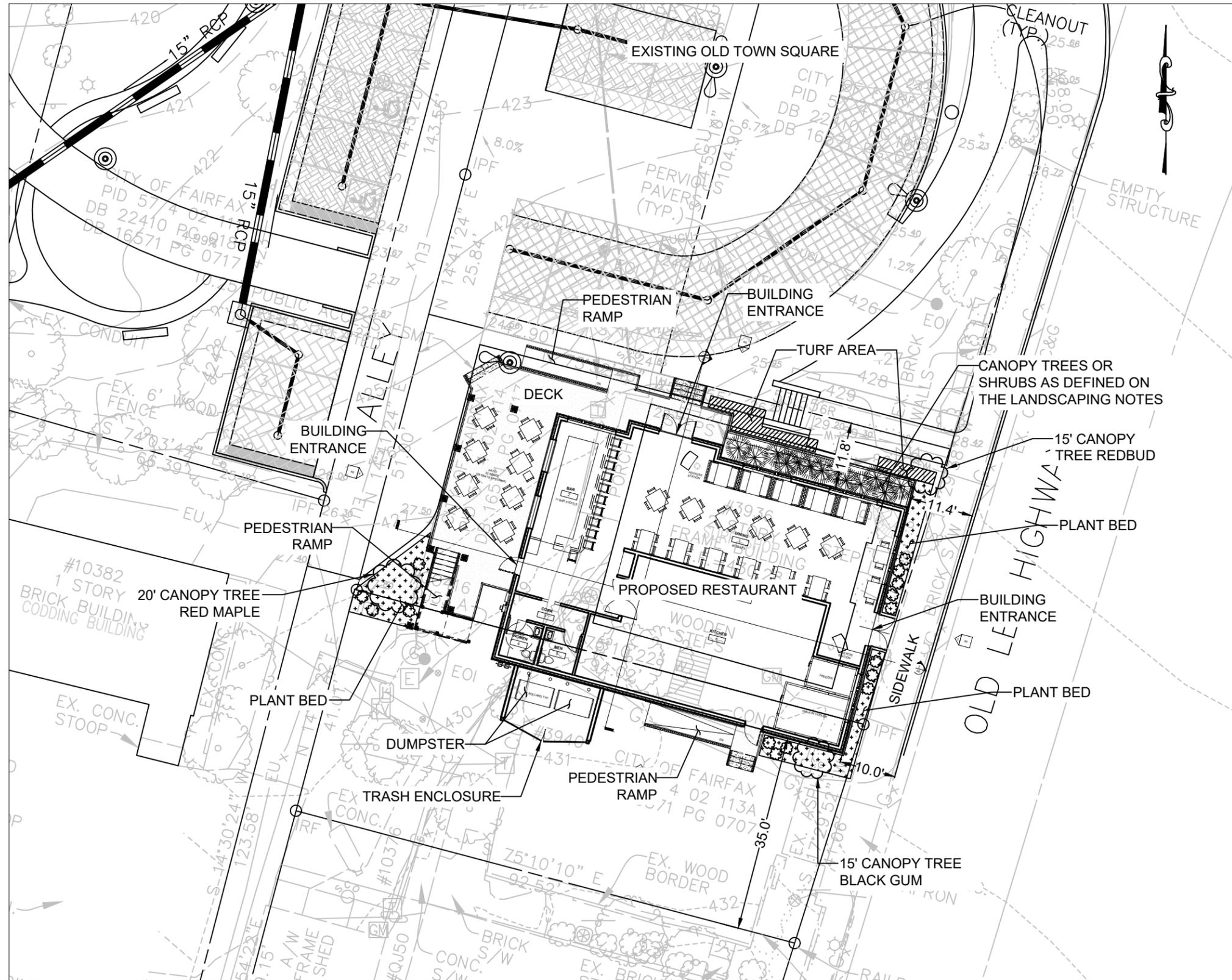


RESTAURANT
3936 OLD LEE HWY.
OLD TOWN SQUARE, FAIRFAX, VA.

No.	Description	Date

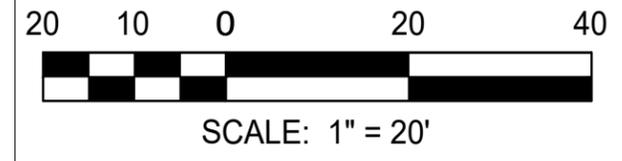
Elevations - Tabloid		A12
Project number	18-075	
Date	12-4-19	
Drawn by	A.S.	
Checked by	B.P.	
Scale		1/8" = 1'-0"

**ATTACHMENT 3 -
Approved Plans
and Elevations -
6/19/19**



- NOTES:**
1. THE PROPERTY SHOWN HEREON ARE LOCATED ON FAIRFAX CITY TAX ASSESSMENT MAPS 57-4-02-114, 57-4-02-115, AND 57-4-02-116 AND UPDATED PER THE DEED OF BOUNDARY LINE ADJUSTMENT AND EASEMENTS DATED JULY 15, 2015.
 2. OLD TOWN SQUARE PARKING SPACES PROVIDED = 44 SPACES

- LANDSCAPING NOTES:**
1. A 10-YEAR TREE CANOPY OF 10% IS REQUIRED.
 2. A MINIMUM OF 10 FOOT WIDE LANDSCAPED STRIP SHALL BE PROVIDED ALONG ALL STREETS.
 3. STREET TREES SHALL BE AT A RATE OF ONE CANOPY TREE EVERY 40 LINEAR FEET AND SPACED AT A MAXIMUM OF 50' APART.
 4. ALL TREES SHALL BE PLANTED NO LESS THAN 3' OR MORE THAN 15' FROM THE BACK OF THE CURB OR EDGE OF PAVEMENT.
 5. NO TREE SHALL BE PLANTED WITHIN A SAFE SIGHT TRIANGLE OR CLOSER THAN 10 FEET FROM ANY FIRE HYDRANT.
 6. REQUIRED LANDSCAPED AREAS MUST BE COVERED WITH BIODEGRADABLE MULCH AND/OR GROUND COVER PLANTS.
 7. ALL PLANT TYPES USED SHALL REQUIRE THE USE OF LOCALLY ADOPTED TREES:
 - 7.1. CANOPY TREES
ACER RUBRUM, RED MAPLE
CERCIS CANADENSIS, REDBUD
NYSSA SYLVATICA, BLACK GUM
 - 7.2. SHRUBS
CORNUS SERICEA, RED TWIG DOGWOOD
HYPERICUM DENSIFLORUM, BUSHY ST. JOHN'S WORT
ILEX GLABRA, INKBERRY HOLLY
ILEX VERTICILLATA, WINTERBERRY HOLLY
ITEA VIRGINICA, VIRGINIA SWEETSPIRE
JUNIPERUS CONFERTA 'BLUE PACIFIC', SHORE JUNIPER



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**RESTAURANT
OLD TOWN SQUARE
FAIRFAX, VA.**

No.	Description	Date

Architectural Site Plan	
Project number	18-075
Date	5-31-19
Drawn by	JPS
Checked by	KDE
Scale	1" = 20'

A10



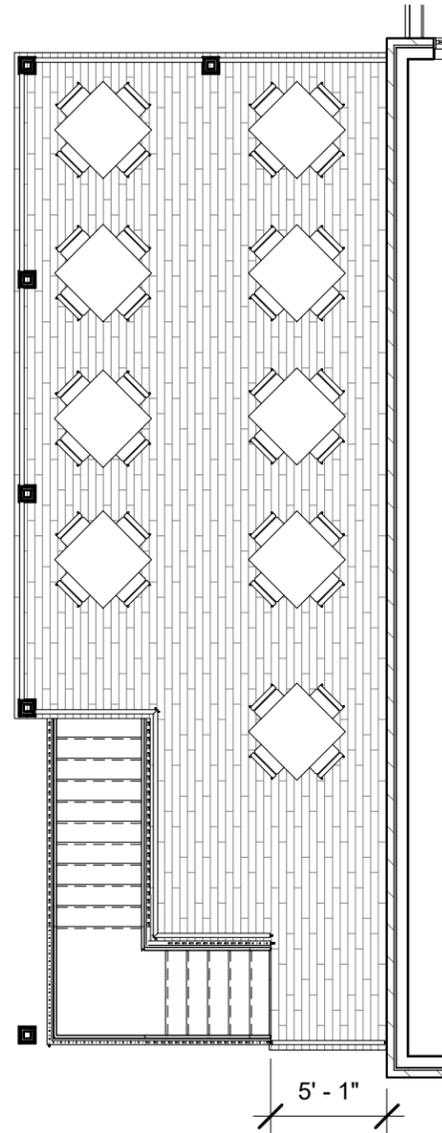
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 Ashland, Va. 23005
 804-550-3098
 804-550-1217 (Fax)



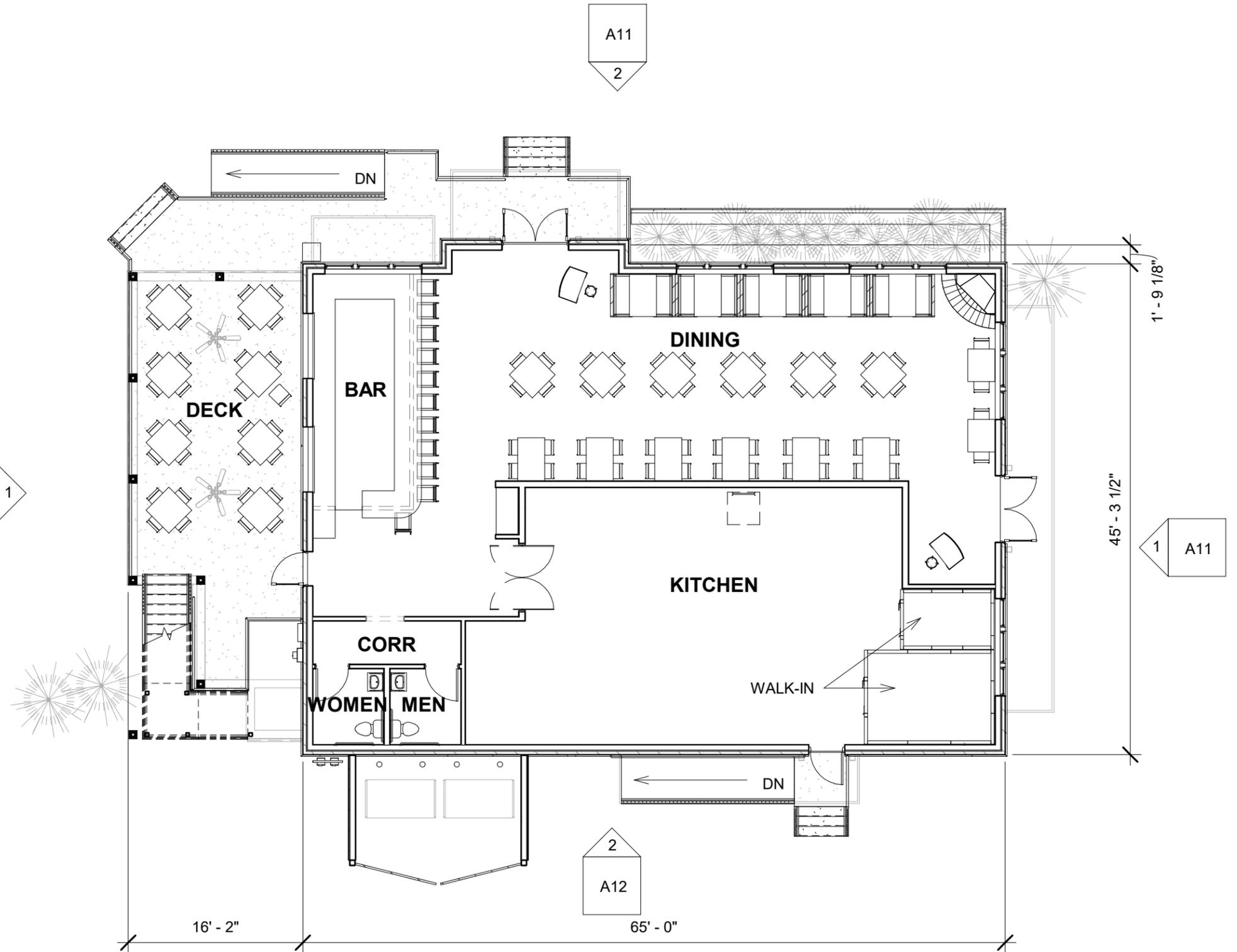
RESTAURANT
OLD TOWN SQUARE
FAIRFAX, VA.

No.	Description	Date

Perspectives		
Project number	18-075	R1
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	
Scale		



② Level 2 - Deck
1/8" = 1'-0"



① Floor Plan
3/32" = 1'-0"

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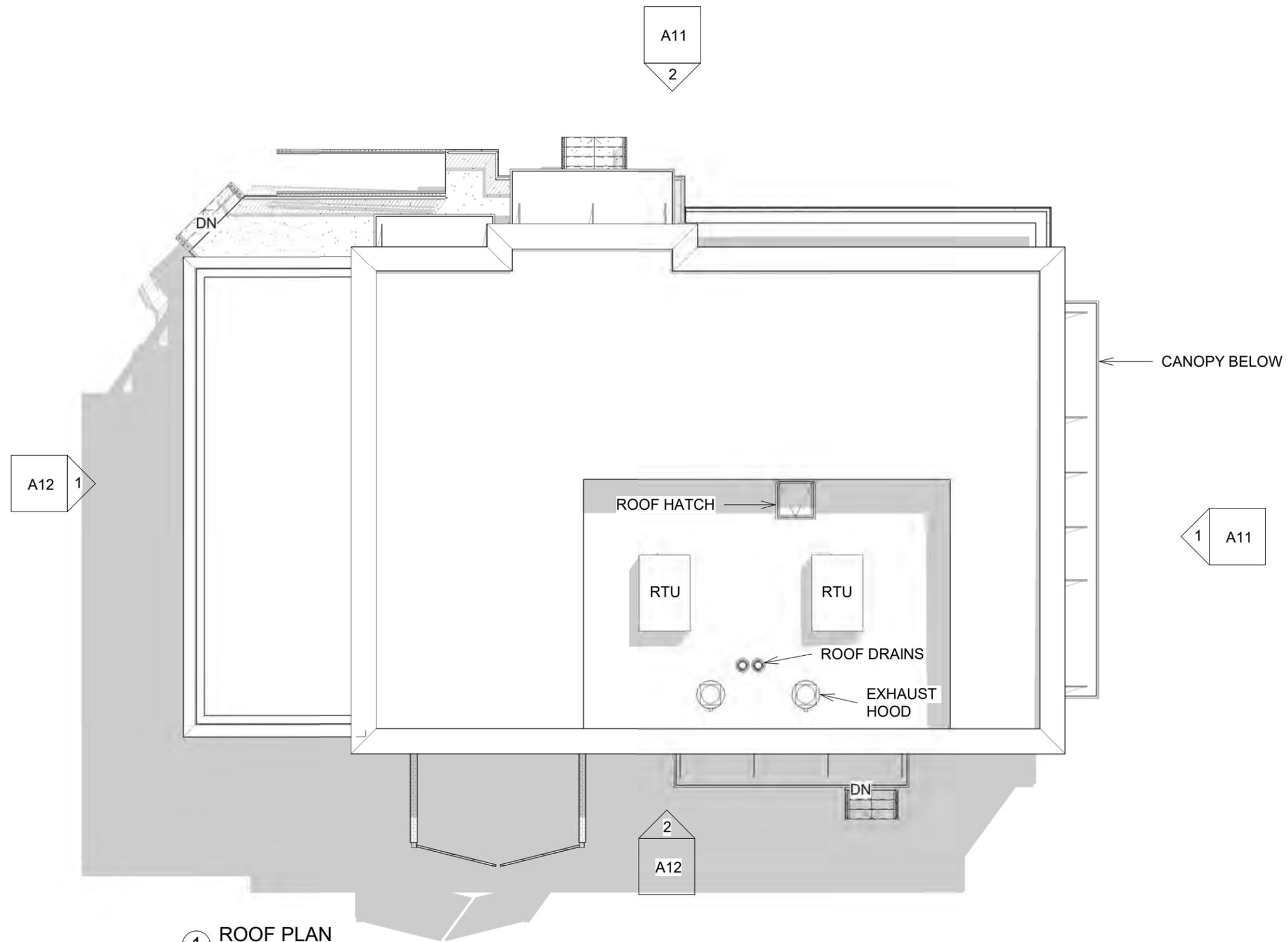
RESTAURANT
OLD TOWN SQUARE
FAIRFAX, VA.

No.	Description	Date

Floor Plan - Tabloid

Project number 18-075
Date 5-23-19
Drawn by Author
Checked by Checker

A10
Scale As indicated



1 ROOF PLAN
3/32" = 1'-0"

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RESTAURANT
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FAIRFAX, VA.

No.	Description	Date

Roof Plan - Tabloid

Project number 18-075
Date 5-23-19
Drawn by Author
Checked by Checker

A10.1

Scale 3/32" = 1'-0"



① East Elevation
1/8" = 1'-0"



② North Elevation
1/8" = 1'-0"

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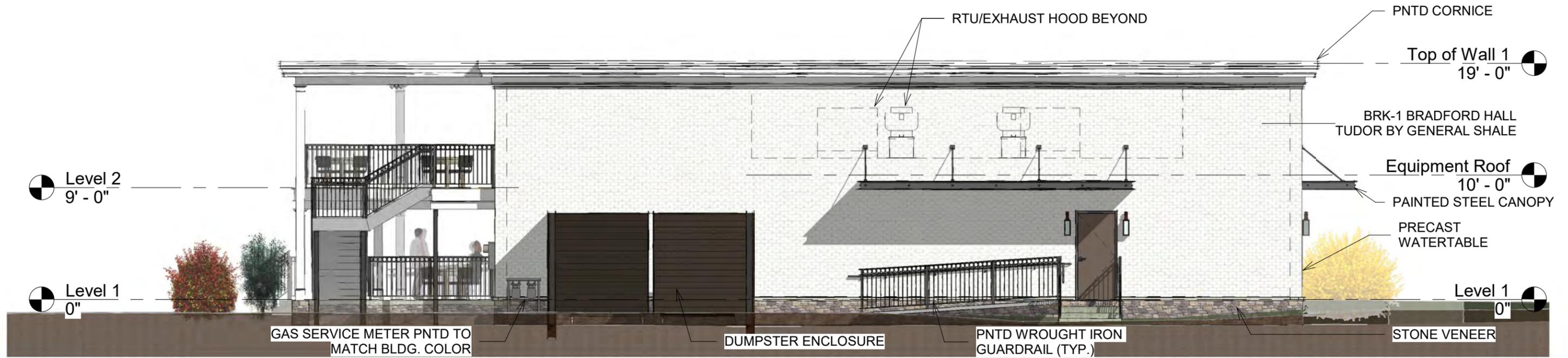
RESTAURANT
OLD TOWN SQUARE
FAIRFAX, VA.

No.	Description	Date

Elevations - Tabloid		
Project number	18-075	A11
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	
		Scale 1/8" = 1'-0"



① West Elevation
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"

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RESTAURANT
OLD TOWN SQUARE
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No.	Description	Date

Elevations - Tabloid

Project number	18-075	A12
Date	5-23-19	
Drawn by	A.S.	
Checked by	B.P.	
Scale		1/8" = 1'-0"



BEVOLO ELECTRIC LIGHT FIXTURE



52" MUELLER 5 BLADE CEILING FAN w/ LIGHT

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RESTAURANT
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 FAIRFAX, VA.

No.	Description	Date

Materials, Fixtures		
Project number	18-075	A14
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	Scale



Aluminum Patio Chair in Dark Grey Finish



Aluminum Patio Arm Chair in Dark Grey Finish



Metal Table in Black Finish - Table Height



Black Finish Plastic Teak Top with Table Base

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RESTAURANT
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FAIRFAX, VA.

No.	Description	Date

Furniture		A15
Project number	18-075	
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	
Scale		



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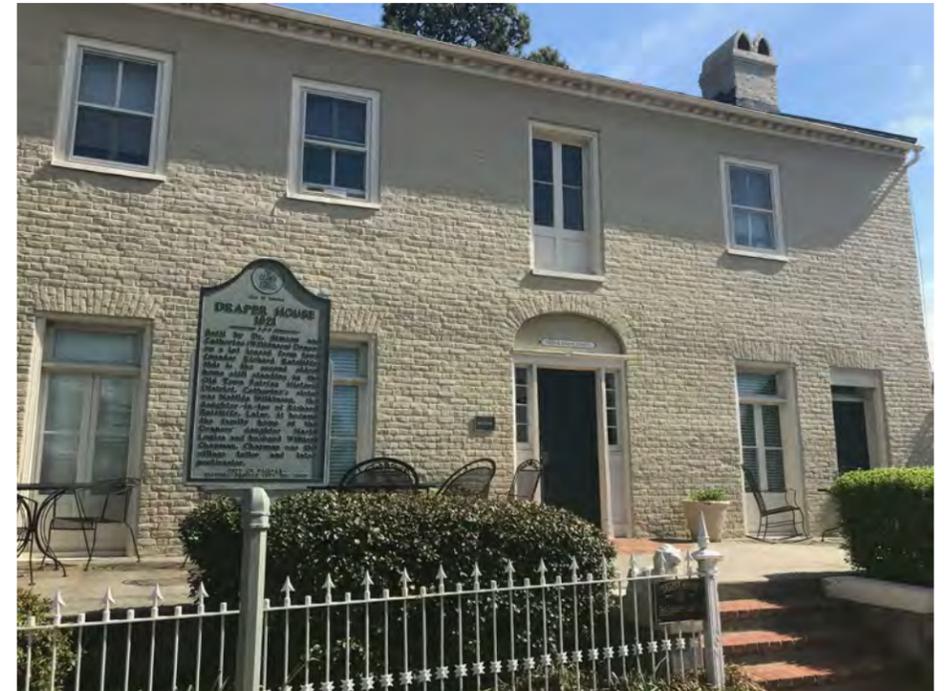


**RESTAURANT
 OLD TOWN SQUARE
 FAIRFAX, VA.**

No.	Description	Date

Existing Site Images

Project number	18-075	A16
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	
		Scale



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**RESTAURANT
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 FAIRFAX, VA.**

No.	Description	Date

Existing Site Images - Cont.		
Project number	18-075	A17
Date	5-23-19	
Drawn by	A.S.	
Checked by	B.P.	
		Scale



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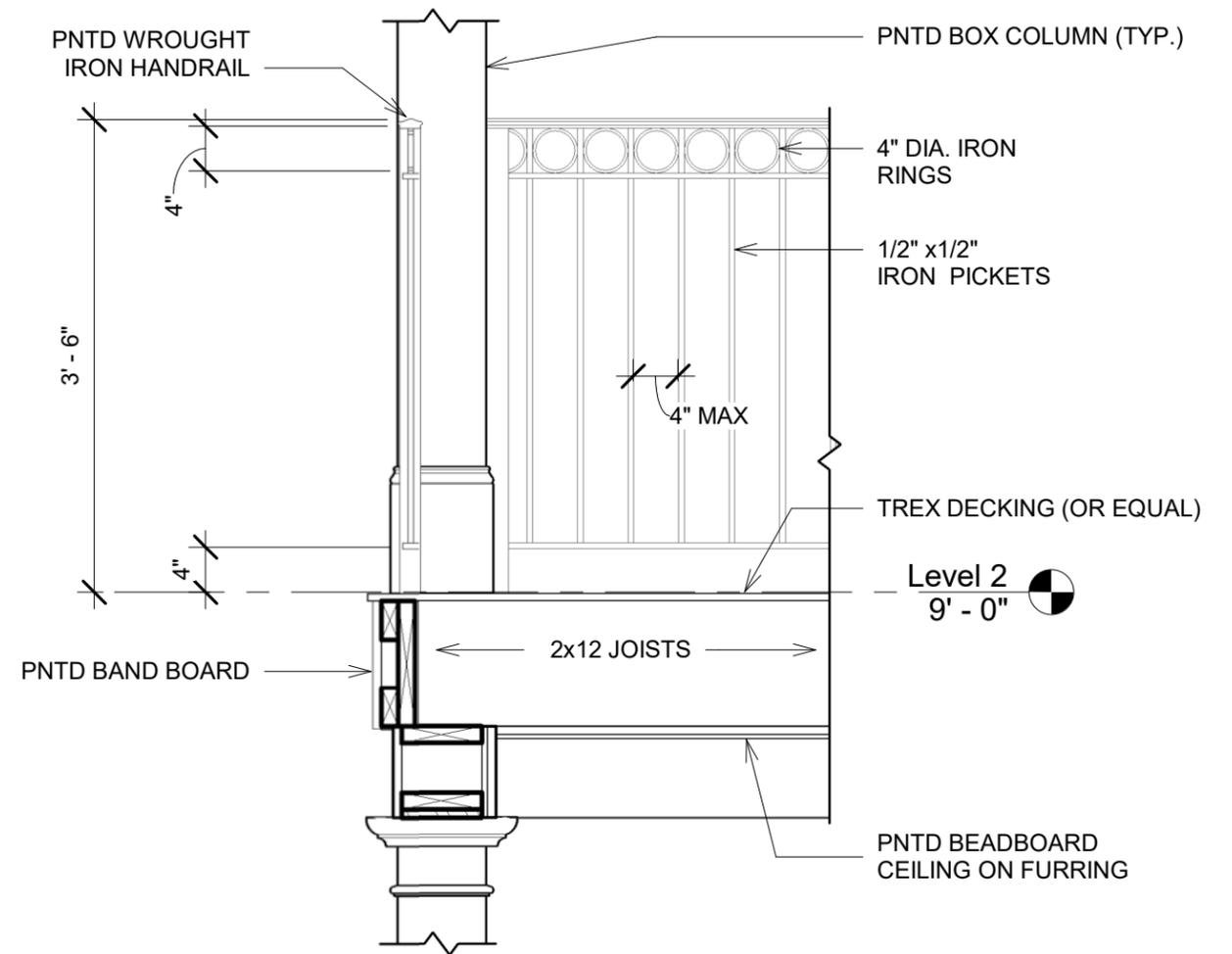
**RESTAURANT
 OLD TOWN SQUARE
 FAIRFAX, VA.**

No.	Description	Date

Existing Site Images - Cont.		
Project number	18-075	A18
Date	5-23-19	
Drawn by	Author	
Checked by	Checker	
		Scale



② Render - Porch, Up Close
12" = 1'-0"



NOTE: ALL RAILINGS TO BE PAINTED BLACK

① Section 2 - Callout 1
3/4" = 1'-0"

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RESTAURANT
OLD TOWN SQUARE
FAIRFAX, VA.

No.	Description	Date

Railing Details

Project number	18-075
Date	5-23-19
Drawn by	Author
Checked by	Checker

A19
Scale As indicated